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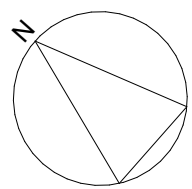
01 SITE ANALYSIS
Scale 1:500

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DRAWING ORIGINAL SIZE: A1

Rev.	Date	Description
C	20/05/2022	FOR REVIEW
B	28/01/2022	FOR REVIEW
A	15/02/2021	FOR REVIEW

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Project: PRECINCT C2 SHELL COVE	Drawn By: MK / KM	Checked 1: KM	Checked 2: KM	Approved: AC
Client: FRASERS PROPERTY PTY LIMITED	Scale: 1:500 @ A1			

Architect:
Candalepas Associates
Registration No. NSW 57773
Registration No. VIC 17978
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

NOT FOR CONSTRUCTION - DESIGN INTENT ONLY	
Drawing: SITE ANALYSIS	Job Number: 5965
Drawing Number: DA 0101	Issue: C



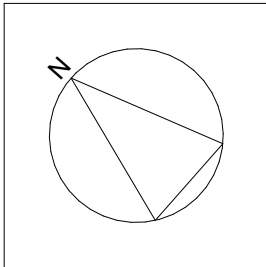
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DRAWING ORIGINAL SIZE: A1

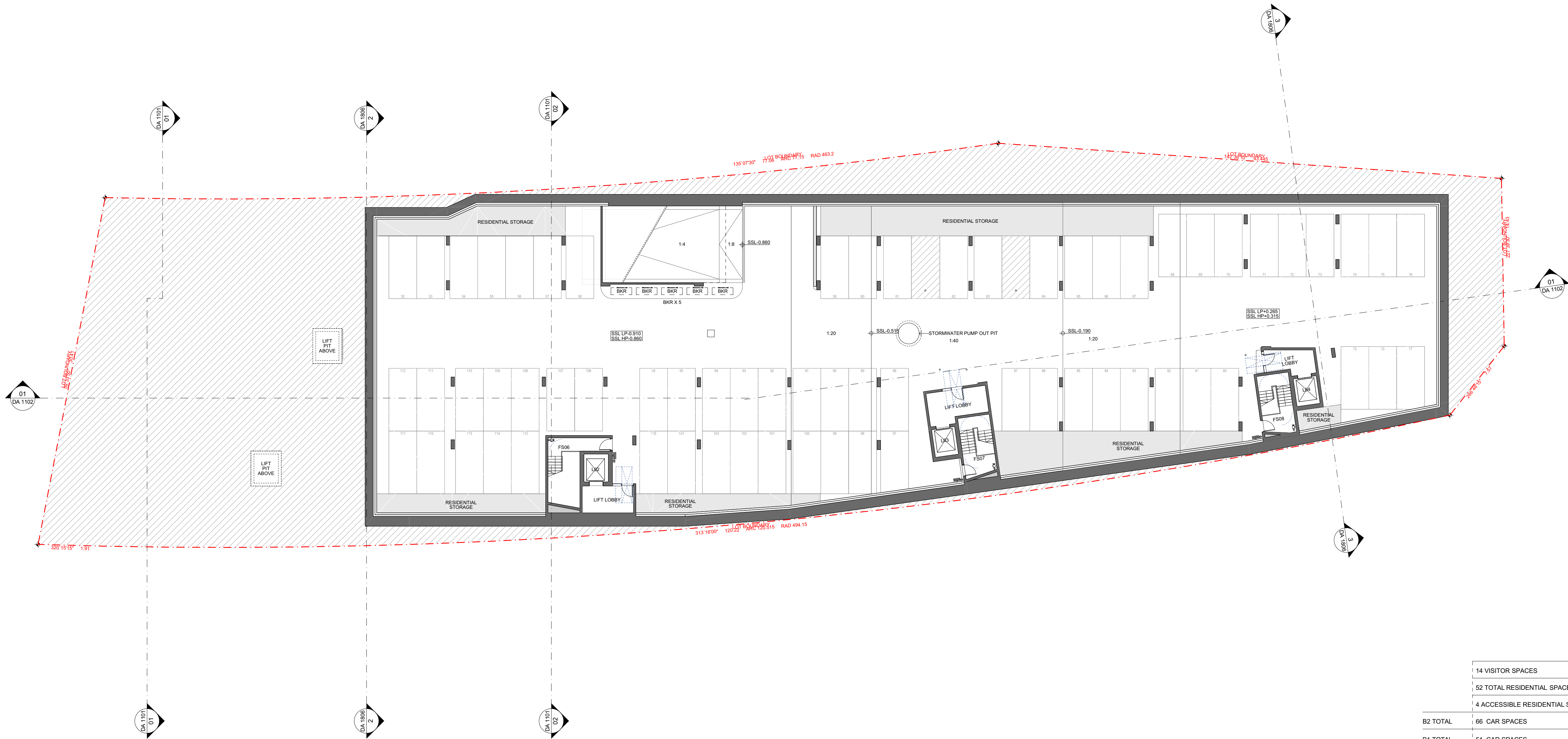
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Project: PRECINCT C2 SHELL COVE			
Site: PRECINCT C2 SHELL COVE			
Client: FRASERS PROPERTY PTY LIMITED			
Scale: 1:200 @ A1	Drawn By: MK / KM	Checked 1: KM	Checked 2: KM
		Approved: AC	

Architect: Candalepas Associates Registration No. NSW 57773 Registration No. VIC 17978 Registration No. WA 2405 Registration No. ACT 2603 Registration No. QLD 5463 309 Sussex Street, Sydney NSW 2000 info@candalepas.com.au T: 02 9283 7755 F: 02 9283 7477
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Drawing: BASEMENT 2 PLAN	Job Number: 5965
Drawing Number: DA 1001	Issue: C



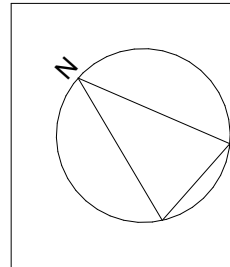
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DRAWING ORIGINAL SIZE: A1

C		20/05/2022	FOR REVIEW
B		28/07/2022	FOR REVIEW
A		15/09/2022	FOR REVIEW
Rev	Date	Description	

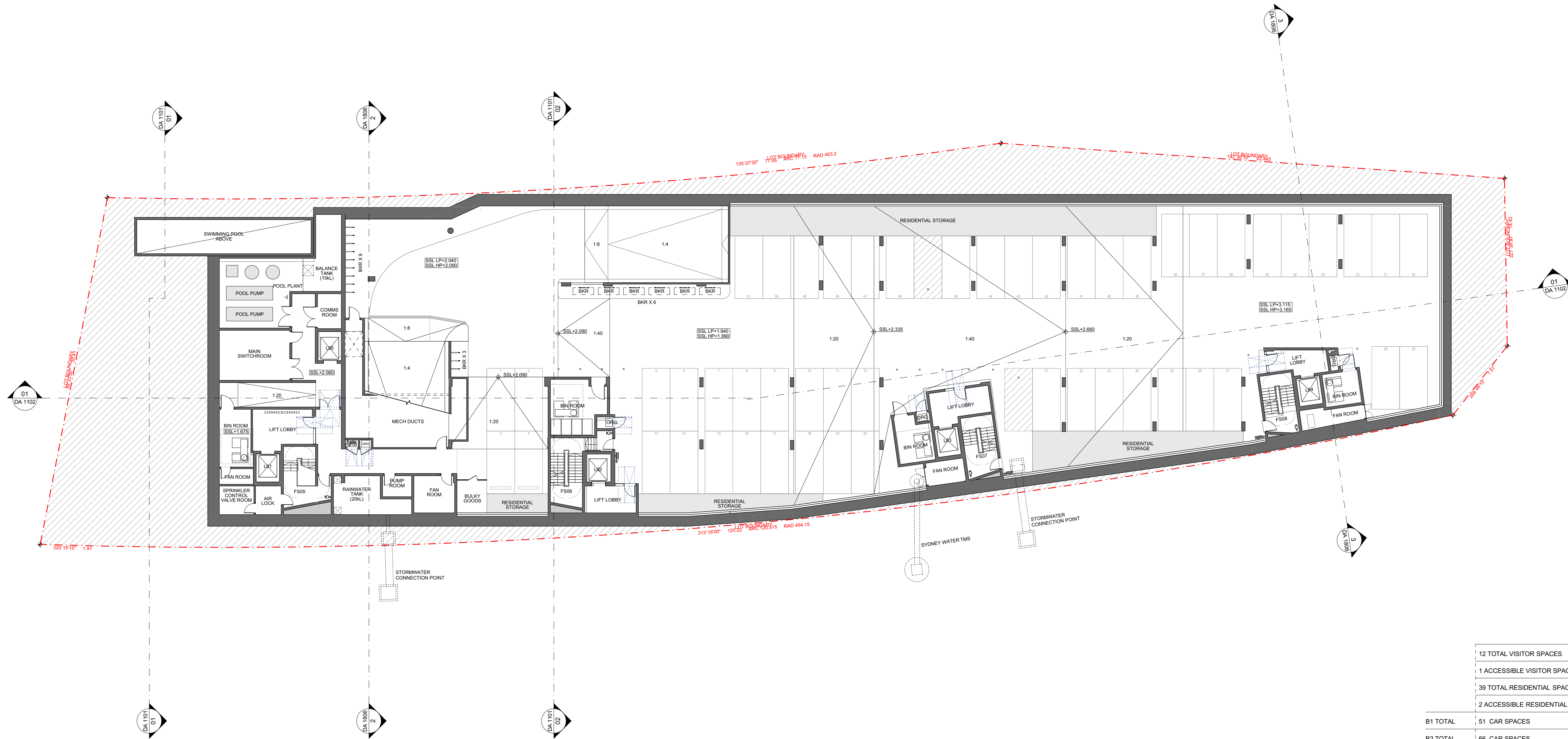
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Site: PRECINCT C2 SHELL COVE			
Client: FRASERS PROPERTY PTY LIMITED			
Scale: 1:200 @ A1	Drawn By: MK / KM	Checked 1: KM	Checked 2: KM
		Approved: AC	

Architect:
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Registration No. VIC 17978
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Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

NOT FOR CONSTRUCTION - DESIGN INTENT ONLY	
Drawing: BASEMENT 1 PLAN	Job Number: 5965
Drawing Number: DA 1002	Issue: C



	12 TOTAL VISITOR SPACES
	1 ACCESSIBLE VISITOR SPACE
	39 TOTAL RESIDENTIAL SPACES
	2 ACCESSIBLE RESIDENTIAL SPACES
B1 TOTAL	51 CAR SPACES
B2 TOTAL	66 CAR SPACES
B1 + B2 TOTAL	117 CAR SPACES

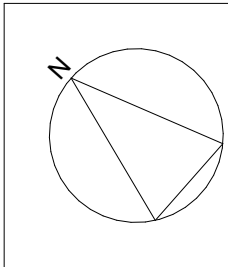
50m 100m 150m 200m 250m 300m

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DRAWING ORIGINAL SIZE: A1

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Project: PRECINCT C2 SHELL COVE		Site: PRECINCT C2 SHELL COVE	
Client: FRASERS PROPERTY PTY LIMITED		Scale: 1:200 @ A1	
Drawn By: BF	Checked 1: BF	Checked 2: PK	Approved: AC

Architect:
Candalepas Associates
Registration No. NSW 5713
Registration No. VIC 17978
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

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Drawing: GROUND FLOOR PLAN	Job Number: 5965
Drawing Number: DA 1003	Issue: C

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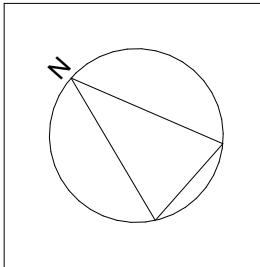
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Site: PRECINCT C2 SHELL COVE			
Client: FRASERS PROPERTY PTY LIMITED			
Scale: 1:200 @ A1	Drawn By: BF	Checked 1: BF	Checked 2: PK
		Approved: AC	

Architect:
Candalepas Associates
Registration No. NSW 5773
Registration No. VIC 1979
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
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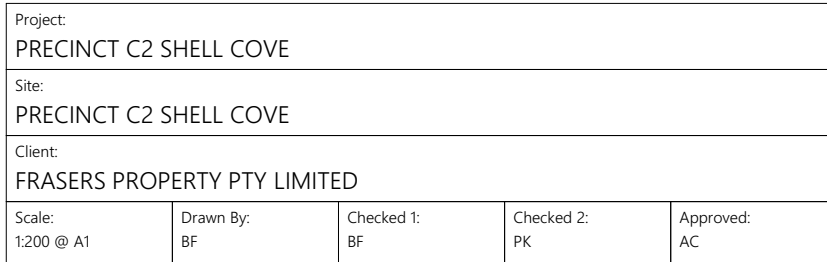
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Drawing Number: DA 1004	Issue: C

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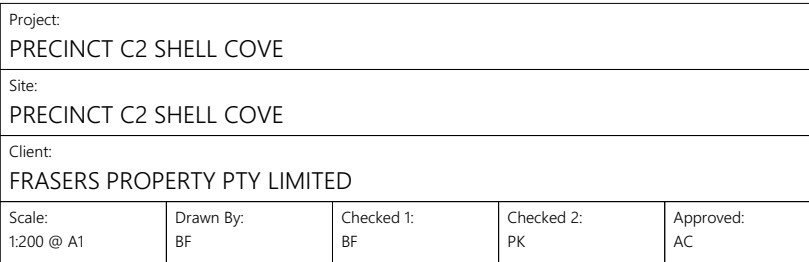
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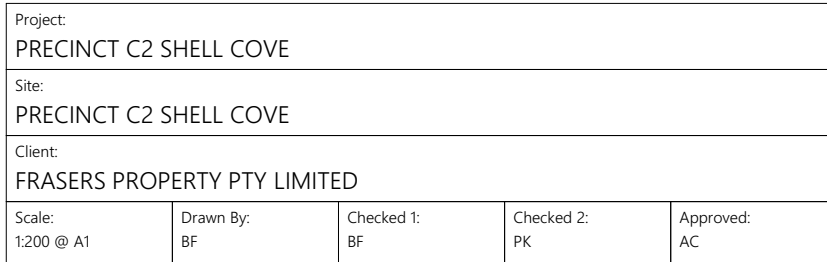
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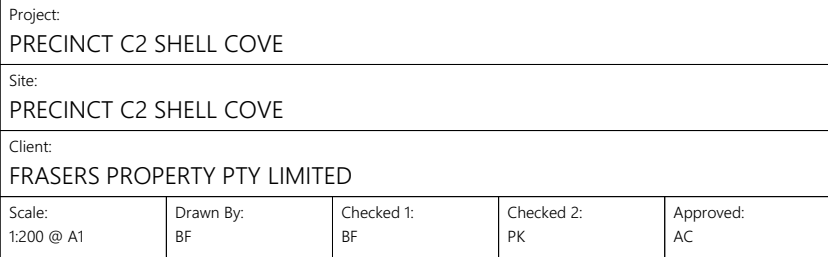
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W
B
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300mm
250mm
200mm
150mm
100mm
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C	20/05/2022	FOR REVIEW	20/05/2022
B	28/01/2022	FOR REVIEW	28/01/2022
A	15/02/2021	FOR REVIEW	15/02/2021
Rev.	Date	Description	

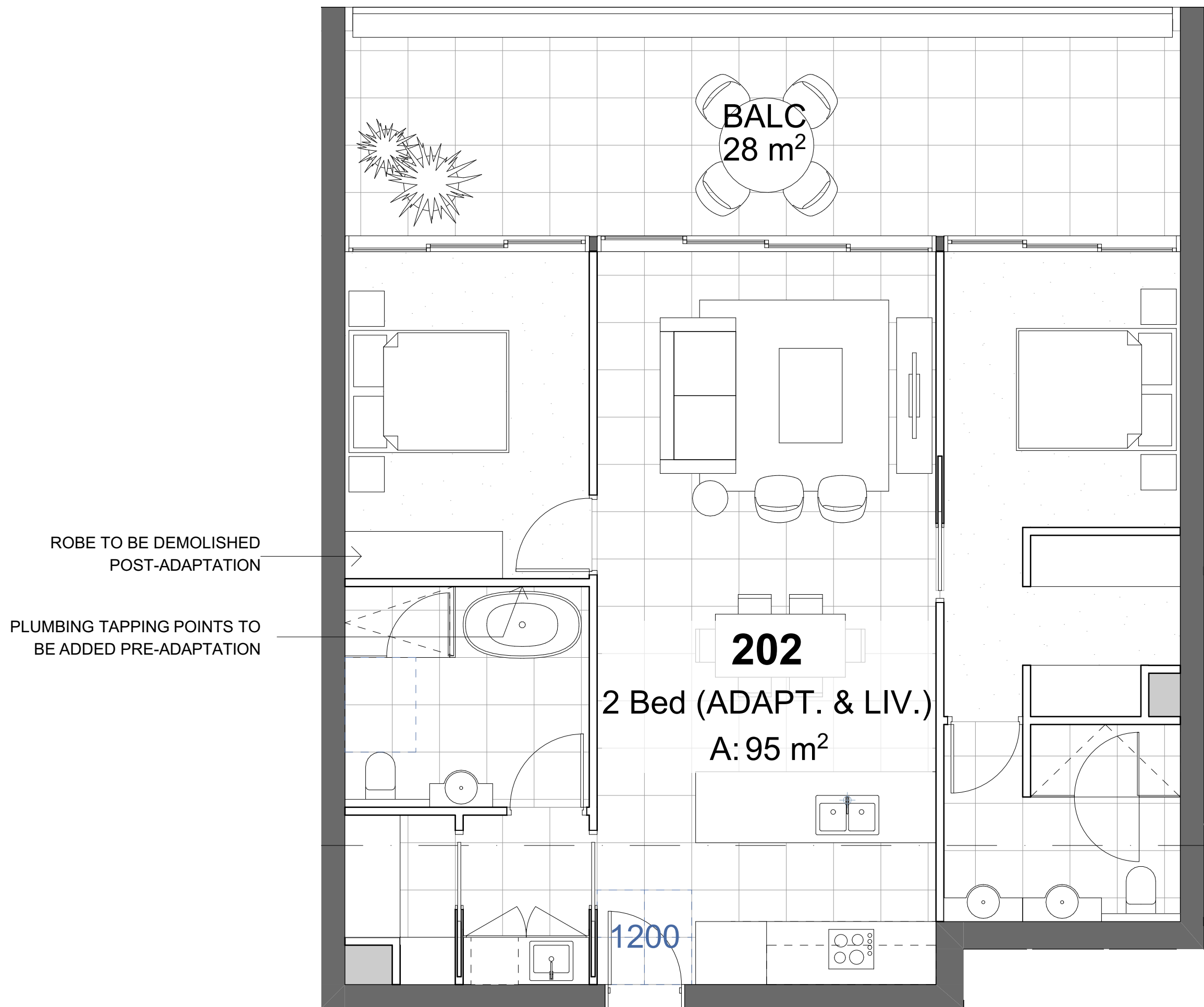
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Project: PRECINCT C2 SHELL COVE			
Site: PRECINCT C2 SHELL COVE			
Client: FRASERS PROPERTY PTY LIMITED			
Scale: 1:50 @ A1	Drawn By: BF	Checked 1: BF	Checked 2: PK
		Approved: AC	

Architect:
Candalepas Associates
Registration No. NSW 51773
Registration No. VIC 19798
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

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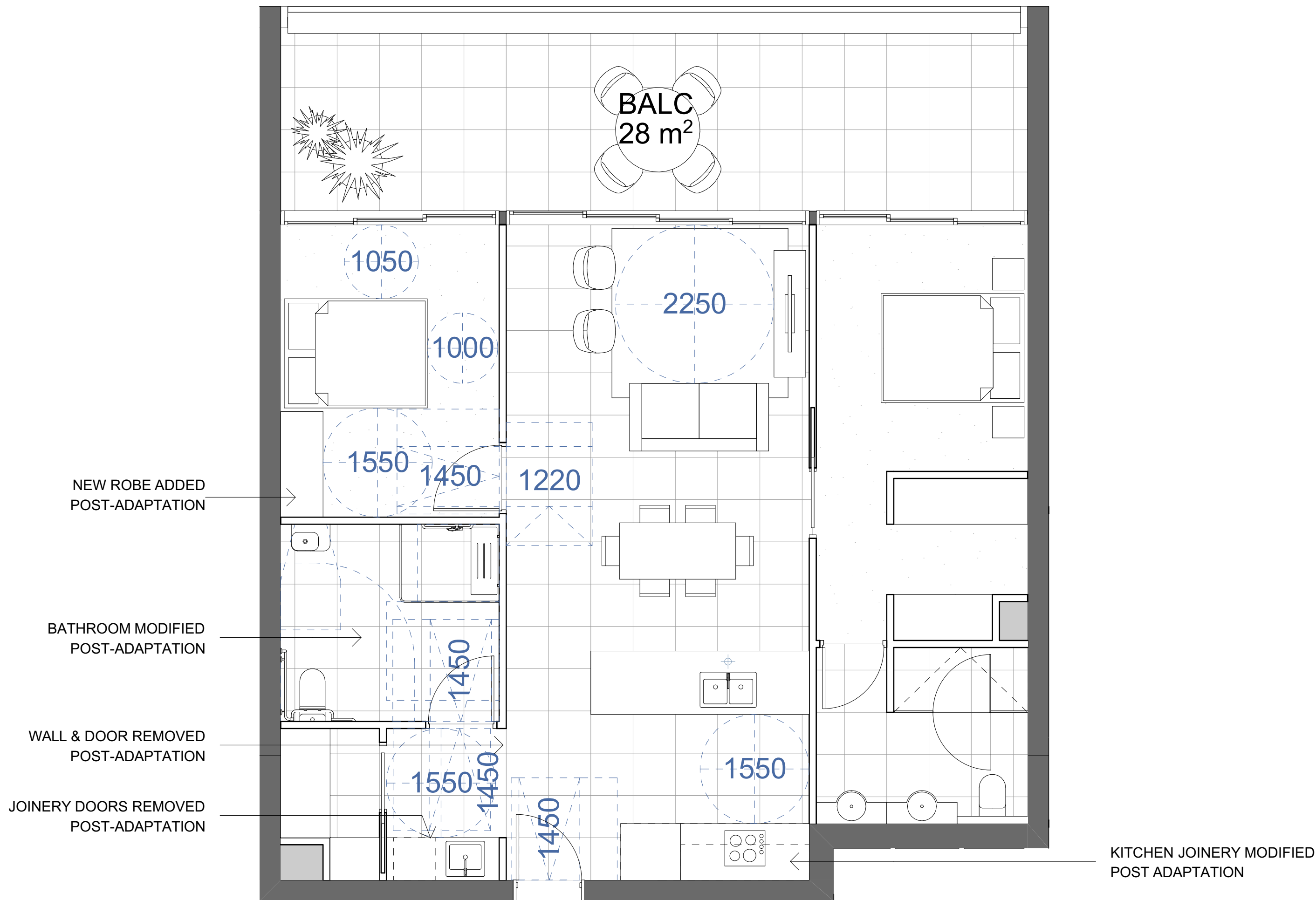
Drawing: UNIVERSAL DESIGN	Job Number: 5965
Drawing Number: DA 1051	Issue: C



01 LIVEABLE & PRE-ADAPTABLE LAYOUT

(AS SHOWN) (MIRRORED)

G04	G07
102	110
107	210
202	310
207	
302	
307	



02 POST ADAPTABLE LAYOUT

(TO COMPLY WITH AS4299-1995)

(AS SHOWN)

G04
102
107
202
207
307

TOTAL: 6 ADAPTABLE UNITS
(11% TOTAL NUMBER OF UNITS)

Print Date: Wednesday, 18 May 2022 3:04 PM



DRAWING ORIGINAL SIZE: A1	<div><div>28/05/2022 FOR REVIEW</div><div>28/05/2022 FOR REVIEW</div><div>28/05/2022 FOR REVIEW</div><div>28/05/2022 FOR REVIEW</div></div>	<div><div>Copyright ©</div><div>This document is the property of Angelo Candalepas and Associates Pty Limited. No reproduction of this document is permitted without written permission of the owner. This document shall only be used for the purpose for which it was commissioned. Unauthorised use of this document is prohibited.</div></div>	<div><div>Project:</div><div>PRECINCT C2 SHELL COVE</div><div>Site:</div><div>PRECINCT C2 SHELL COVE</div><div>Client:</div><div>FRASERS PROPERTY PTY LIMITED</div></div> <div><div>Scale:</div><div>1:200 @ A1</div><div>Drawn By:</div><div>JMT</div><div>Checked 1:</div><div>JMT</div><div>Checked 2:</div><div>PK</div><div>Approved:</div><div>AC</div></div>	<div><div>Architect:</div><div>Candalepas Associates</div><div>Registration No. NSW 5773</div><div>Registration No. VIC 17078</div><div>Registration No. WA 2405</div><div>Registration No. ACT 2463</div><div>Registration No. QLD 2463</div><div>309 Sussex Street, Sydney NSW 2000</div><div>info@candalepas.com.au</div><div>T: 02 9283 7755 F: 02 9283 7477</div></div>	<div><div>SECTIONS A & B</div><div>Job Number:</div><div>5965</div></div>
	<div><div>Drawing Number:</div><div>DA 1101</div></div>	<div><div>Issue:</div><div>C</div></div>			

[illegible]

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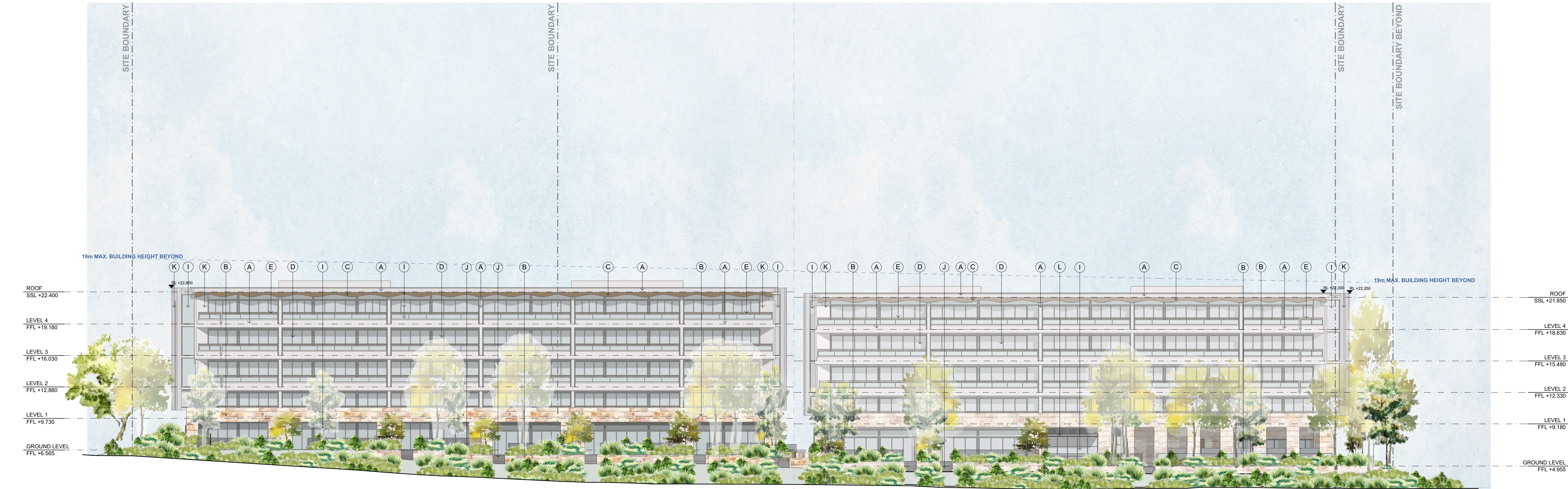
Project: PRECINCT C2 SHELL COVE			
Site: PRECINCT C2 SHELL COVE			
Client: FRASERS PROPERTY PTY LIMITED			
Scale: 1:200 @ A1	Drawn By: MK / KM	Checked 1: KM	Checked 2: KM
			Approved: AC

Architect:
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Registration No. VIC 17978
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463

309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

NOT FOR CONSTRUCTION - DESIGN INTENT ONLY	
Drawing: SECTION 1	Job Number: 5965
Drawing Number: DA 1102	Issue: C

W
B
M
Y
C
300
250
200
150
100
50



A - OFF-FORM INSITU CONCRETE



B - SANDSTONE (FINISH VARIOUS)



C - COPPER CLADDING



D - BALCONY



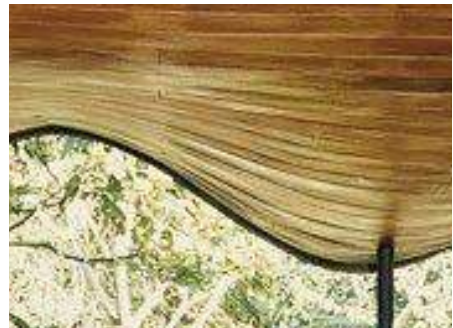
E - TIMBER HANDRAILS



G - BRONZE COLOURED METAL WINDOW SCREENING



F - POWDERCOATED METAL SHROUDS



H - INTERNAL TIMBER CEILING LINING



I - CLEAR GLASS



J - METAL PALISADE FENCE



K - PRECAST CONCRETE



L - SHADING PERGOLA

This drawing is to be read in conjunction with all relevant project documentation (incl. written architectural specifications) and all specialist consultant documentation incl. but not limited to structural, mechanical, electrical, and hydraulic engineering documentation.
Do not scale from this drawing. Only figured dimensions shall be used.
Report any discrepancy between this drawing and other project documentation immediately to the architect for clarification prior to commencement of related work on site.
All sizes of structural components that are shown on these architectural documents are for reference only. Refer to structural engineer's drawings for structural dimensions and architectural drawings for concrete set out dimensions.
For Development Application purposes only.

DRAWING ORIGINAL SIZE: A1

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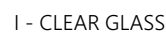
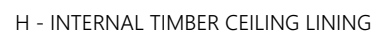
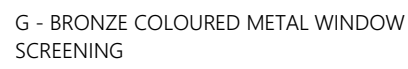
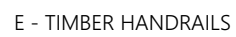
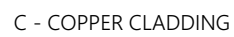
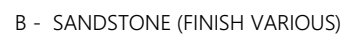
Project: PRECINCT C2 SHELL COVE	
Site: PRECINCT C2 SHELL COVE	
Client: FRASERS PROPERTY PTY LIMITED	
Scale: 1:200 @ A1	Drawn By: JMT
Checked 1: JMT	Checked 2: PK
Approved: AC	

Architect:
Candalepas Associates
Registration No. NSW 5773
Registration No. VIC 17978
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

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Drawing: EAST ELEVATION	Job Number: 5965
Drawing Number: DA 1201	Issue: C

Print Date: Wednesday, 18 May 2022 3:04 PM

DRAWING ORIGINAL SIZE: A1[illegible]

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Project: PRECINCT C2 SHELL COVE			
Site: PRECINCT C2 SHELL COVE			
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Scale: 1:200 @ A1	Drawn By: MK / KM	Checked 1: KM	Checked 2: KM
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Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

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Drawing: NORTH & SOUTH ELEVATION	Job Number: 5965
Drawing Number: DA 1202	Issue: C

W
B
M
Y
C
300
250
200
150
100
50



01 WEST ELEVATION
Scale 1:200



A - OFF-FORM INSITU CONCRETE



B - SANDSTONE (FINISH VARIOUS)



C - COPPER CLADDING



D - BALCONY



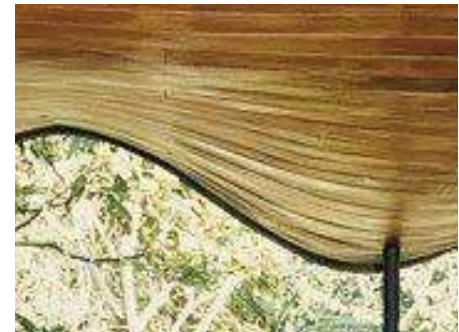
E - TIMBER HANDRAILS



G - BRONZE COLOURED METAL WINDOW SCREENING



F - POWDERCOATED METAL SHROUDS



H - INTERNAL TIMBER CEILING LINING



I - CLEAR GLASS



J - METAL PALISADE FENCE



K - PRECAST CONCRETE



L - POWDERCOATED ALUMINIUM PANEL LIFT GARAGE DOOR

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For Development Application purposes only.

DRAWING ORIGINAL SIZE: A1

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Project: PRECINCT C2 SHELL COVE		Client: FRASERS PROPERTY PTY LIMITED	
Site: PRECINCT C2 SHELL COVE		Scale: 1:200 @ A1	
Drawn By: MK / KM		Checked 1: KM	
Checked 2: KM		Approved: AC	

Architect:
Candalepas Associates
Registration No. NSW 17773
Registration No. VIC 17978
Registration No. WA 2405
Registration No. ACT 2603
Registration No. QLD 5463
309 Sussex Street, Sydney NSW 2000
info@candalepas.com.au
T: 02 9283 7755 F: 02 9283 7477

NOT FOR CONSTRUCTION - DESIGN INTENT ONLY	
Drawing: WEST ELEVATION	Job Number: 5965
Drawing Number: DA 1203	Issue: C

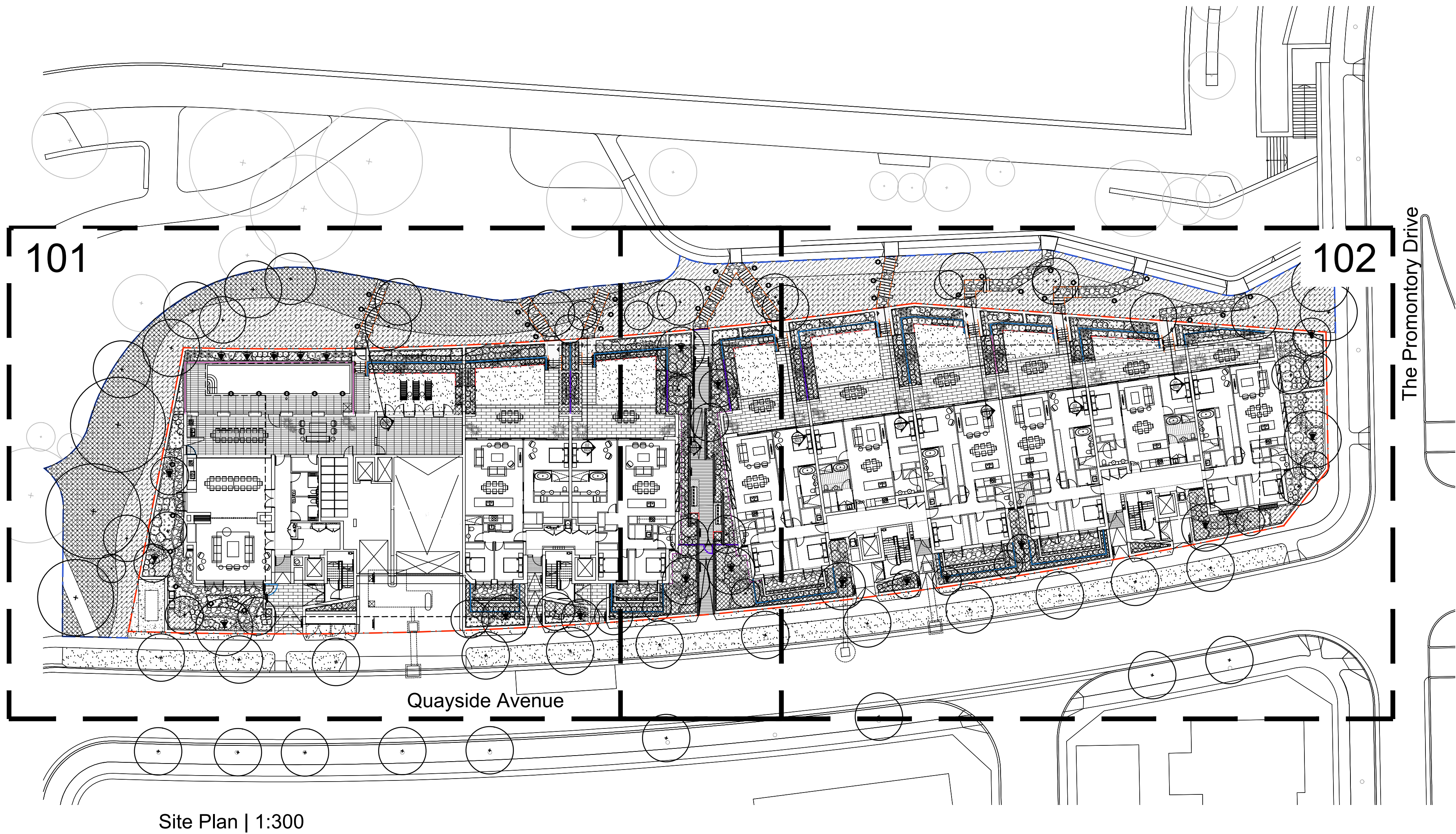
Print Date: Wednesday, 18 May 2022 3:05 PM

Shell Cove Precinct C2 Apartments

Landscape Development Application

Drawing Schedule

Drawing Number	Drawing Title	Scale
0000	Landscape Coversheet	N/A
001	Landscape Plan	1:200
002	Landscape Planting Schedule	N/A
101	Landscape Plan - 1	1:100
102	Landscape Plan - 2	1:100
501	Landscape Details	As Shown
502	Landscape Details & Specification	As Shown
503	Landscape Detail	As Shown
601	Landscape Sections	As Shown
602	Landscape Sections	As Shown
603	Landscape Sections	As Shown
604	Landscape Sections	As Shown
605	Landscape Sections	As Shown



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Issue	Revision Description
F	Updated DA Issue
E	Forshore Stairs Updated
D	Forshore Tree Species Modified
C	Development Application
B	Development Application
A	Preliminary

Drawn	Check	Date
MW	NM	17.05.2022
CK	NM	01.02.2022
JD	NM	20.01.2022
JD	NM	16.09.2021
JD	NM	14.09.2021
JD	NM	03.09.2021



Client:
Frasers Property Australia

Project:
**Precinct C2
Shell Cove**

Drawing Name:
Coversheet

DEVELOPMENT APPLICATION

Scale: 1:200 @ A1
Job Number: SS21-4673

0 1 2 4 6 10m
Drawing Number: 000 F

	Botanic Name	Common Name	Mature Size	Pot Size	Density
GROUND FLOOR PLANT SCHEDULE					
TREES					
Bi	<i>Banksia integrifolia</i>	Coast Banksia	15 x 5	100L	As Shown
Bm	<i>Backhousia myrtifolia</i>	Cinnamon Myrtle	3 x 2	75L	As Shown
Er	<i>Eucalyptus robusta</i>	Swamp Mahogany	20 x 15	100L	As Shown
Cs	<i>Callistemon salignus</i>	Willow Bottlebrush	10 x 5	75L	As Shown
TL	<i>Tristaniopsis laurina</i> 'Luscious'	Water Gum	8 x 4	75L	As Shown
MI	<i>Melaleuca linarifolia</i>	Snow in Summer	8 x 5	100L	As Shown
SHRUBS					
An	<i>Alpinia nutans</i>	Dwarf Cardamom	1.5 x 1	300mm	As Shown
Bi	<i>Baeckea imbricata</i>	Heath Myrtle	0.8 x 1	300mm	As Shown
BS	<i>Banksia spinulosa</i>	Hills Banksia	3 x 2	300mm	As Shown
CLJ	<i>Callistemon</i> 'Little John'	Bottlebrush Little John	1.5 x 1.5	300mm	As Shown
CGB	<i>Callistemon</i> Great Balls of Fire	Bottlebrush	1.75 x 1.75	300mm	As Shown
Ca	<i>Correa alba</i>	Native Fuchsia	1.5 x 1.5	300mm	As Shown
CDB	<i>Correa</i> 'Dusky Bells'	Native Fuchsia	.5 x 1	300mm	As Shown
De	<i>Doryanthes excelsa</i>	Gymea Lily	2 x 2	300mm	As Shown
Me	<i>Monotoca elliptica</i>	Tree Broom Heath	2 x 3	300mm	As Shown
MCT	<i>Melaleuca linarifolia</i> 'Claret Tops'	Honey Myrtle	1.2 x 1	300mm	As Shown
MT	<i>Metrosideros collina</i> 'Tahiti'	Dwarf NZ Christmas Bush	1 x 1	300mm	As Shown
LF	<i>Leptospermum laevigatum</i> Foreshore	Dwarf Coastal Tea Tree	0.5 x 1	300mm	As Shown
PMM	<i>Pittosporum</i> 'Miss Muffet'	Dwarf Pittosporum	1 x 1.5	300mm	As shown
Sa	<i>Scaevola aemula</i>	Fairy Fan Flower	0.5 x 1	300mm	As shown
WGB	<i>Westringia fruticosa</i> 'Grey box'	Grey Box	0.5 x 0.5	300mm	As shown
WBG	<i>Westringia fruticosa</i> 'Blue Gem'	Blue Gem	1.5 x 1.3	300mm	As shown
WM	<i>Westringia fruticosa</i> 'Mundi'	Coastal Rosemary	0.5 x 1.5	300mm	As shown

ACCENTS					
Aa	<i>Asplenium australasicum</i>	Birds Nest Fern	1 x 1	300mm	As Shown
BSL	<i>Blechnum</i> 'Silver Lady'	Silver Lady Fern	1.2 x 1	300mm	As shown
Ag	<i>Agave geminiflora</i>	Twin Agave	0.8 x 1	300mm	As Shown
PBB	<i>Phormium</i> Bronze Baby	Dwarf Flax	1 x 1	300mm	As Shown

GRASSES & GROUND COVERS					
Ac	<i>Arthropodium cirratum</i>	Renga Lily	.6 x .6	150mm	5/m2
As	<i>Austrostipa stipoides</i>	Coastal Spear Grass	0.8 x 0.8	150mm	5/m2
CKK	<i>Casuarina glauca</i> 'Kattang Karpet'	Prostrate She Oak	.5 x 2	150mm	5/m2
Cap	<i>Chryscephalum apiculatum</i>	Common Everlasting	2 x 1	150mm	5/m2
Cc	<i>Convolvulus cneorum</i>	Silver Bush	0.6 x 0.6	150mm	5/m2
Dc	<i>Dianella caerulea</i>	Blue Flax Lily	0.6 x 0.3	150mm	5/m2
GP	<i>Grevillea</i> 'Poorinda Royal Mantle'	Grevillea	0.1 x 3	150mm	5/m2
Hp	<i>Helichrysum petiolare</i>	Licorice Plant	.4 x 1.5	150mm	5/m2
Hs	<i>Hibbertia scandens</i>	Guinea Flower	.1 x 2	150mm	5/m2
HM	<i>Hardenbergia violacea</i> 'Meema'	Purple Coral Pea	0.5 x 2	150mm	5/m2
LS	<i>Lomandra confertifolia</i> 'Seascape'	Mat Rush	0.5 x 0.6	150mm	5/m2
LC	<i>Lomandra</i> 'Crackerjack'	Crackerjack	1 x 1	150mm	5/m2
Mp	<i>Myoporum parvifolium purpurea</i>	Creeping Boobialla	0.3 x 3	150mm	5/m2
Pp	<i>Poa poiformis</i>	Blue Tussock Grass	0.6 x 0.5	150mm	5/m2
SBC	<i>Senecio serpens</i> 'Blue Chalksticks'	Blue Chalksticks	0.6 x 0.6	150mm	5/m2
Dr	<i>Dichondra repens</i>	Kidney Weed	.1 x 1.5	150mm	5/m2
DSF	<i>Dichondra</i> 'Silver Falls'		.1 x 1.5	150mm	5/m2
Vh	<i>Viola hederacea</i>	Native Violet	.1 x .5	150mm	5/m2

COMMON OPEN SPACE					
Ln	<i>Laurus nobilis</i>	Bay Tree	7 x 3	100L	As Shown
So	<i>Salvia officinalis</i>	Sage	1 x 2	150mm	As Shown
Tv	<i>Thymus vulgaris</i>	Common Thyme	2 x 5	150mm	As Shown
Ro	<i>Rosmarinus officinalis</i>	Rosemary	1 x 1	150mm	As Shown
Ov	<i>Origanum vulgare</i>	Oregano	2 x 2	150mm	As Shown
Tc	<i>Thymus x citriodorus</i>	Lemon Scented Thyme	2 x 2	150mm	As Shown
Ld	<i>Lavandula detata</i>	French Lavender	.6 x .6	300mm	As Shown
Tvi	<i>Tulbaghia violacea</i>	Society Garlic	.5 x .3	150mm	As Shown

FORESHORE PLANTING TREES					
Species	Common Name	Mature Size (h x w) m	Pot Size	Spacing	
Bi	<i>Banksia integrifolia</i>	Coastal Banksia	15 x 6	200L	As shown
Cs	<i>Callistemon salignus</i>	Willow Bottlebrush	5 x 3	200L	As shown
Ea	<i>Eucalyptus amplifolia</i>	Cabbage Gum	20 x 8	200L	As shown
Eb	<i>Eucalyptus botryoides</i>	Southern Mahogany	15 x 12	200L	As shown
Ht	<i>Hibiscus tiliaceus</i>	Beach Hibiscus	8 x 5	200L	As shown
Ti	<i>Tristaniopsis laurina</i>	Water Gum	8 x 5	200L	As shown

FORESHORE PLANTING TALL SHRUBS					
Species	Common Name	Mature Size (h x w) m	Pot Size	Spacing	Percentage of Mix
Be	<i>Banksia ericifolia</i>	Heath Banksia	5.0 x 2	150mm	16.36%
Ca	<i>Correa alba</i>	White correa	1.2 x 1.5	150mm	22.27%
Me	<i>Melaleuca ericifolia</i>	Swamp paperbark	3.0 x 2.0	150mm	12.02%
Mh	<i>Melaleuca hypericifolia</i>	Hillock Bush	1.5 x 1.5	150mm	18.06%
MCT	<i>Melaleuca linarifolia</i> 'Claret Tops'	Honey Myrtle	1.4 x 1.0	200mm	21.72%
WBG	<i>Westringia fruticosa</i> 'Blue Gem'	Native Rosemary	1.2 x 1.2	150mm	9.57%

FORESHORE PLANTING LOW GRASSES AND GROUNDCOVERS					
Species	Common Name	Mature Size (h x w) m	Pot Size	Spacing	Percentage of Mix
As	<i>Austrostipa stipoides</i>	Prickly Spear Grass	1.0 x 0.5	150mm	7.10%
CDB	<i>Correa</i> 'Dusky Bells'	Correa	0.7 x 1.0	150mm	4.62%
Cg	<i>Carpobotus glaucescens</i>	Pigface	0.3 x 2	150mm	2.13%
Dc	<i>Dianella caerulea</i>	Blue Flax-Lily	0.3 x 0.4	150mm	15.79%
GCC	<i>Grevillea juniperina</i> 'Cherry Cluster'	Grevillea Cherry Cluster	0.5 x 0.8	150mm	4.28%
GGC	<i>Grevillea juniperina</i> 'Gold Cluster'	Gold Cluster	0.3 x 0.9	150mm	4.28%
GI	<i>Grevillea lanigera</i>	Woolly Grevillea	0.8 x 0.8	150mm	3.67%
HM	<i>Hardenbergia</i> 'Meema'	Coral Pea	0.5 x 1.0	150mm	9.31%
LS	<i>Lomandra confertifolia</i> 'Seascape'	Lomandra Seascape	0.5 x 0.5	150mm	15.03%
LH	<i>Lomandra</i> 'Hystrix'	Tropic Cascade	0.7 x 0.7	150mm	7.29%
Mp	<i>Myoporum parvifolium</i>	Yareena	0.1 x 1.0	150mm	5.89%
RFB	<i>Rhagodia spinescens</i> Flat Bush	Salt Bush	0.3 x 1.0	150mm	6.46%
WM	<i>Westringia fruticosa</i> 'Mundi'	Coastal Rosemary cultivar	0.5 x 1.5	150mm	6.75%
WAB	<i>Westringia fruticosa</i> 'Aussie Box'	Dwarf Coastal Rosemary	0.7 x 0.7	150mm	7.10%



Banksia integrifolia



Callistemon salignus



Tristaniopsis laurina 'Luscious'



Asplenium australasicum



Lomandra confertifolia 'Seascape'
Mat Rush



Baeckea imbricata
Heath Myrtle



Austrostipa stipoides
Coastal Spear Grass



Senecio serpens 'Blue Chalksticks'
Blue Chalksticks



Metrosideros collina 'Tahiti'



Westringia fruticosa 'Grey box'
Grey Box



Convolvulus cneorum
Silver Bush



Dianella caerulea
Blue Flax Lily



Correa alba
Native Fuchsia



Monotoca elliptica
Tree Broom Heath



Agave geminiflora



Hardenbergia violacea 'Meema'



Hibiscus tiliaceus
Red Cottonwood



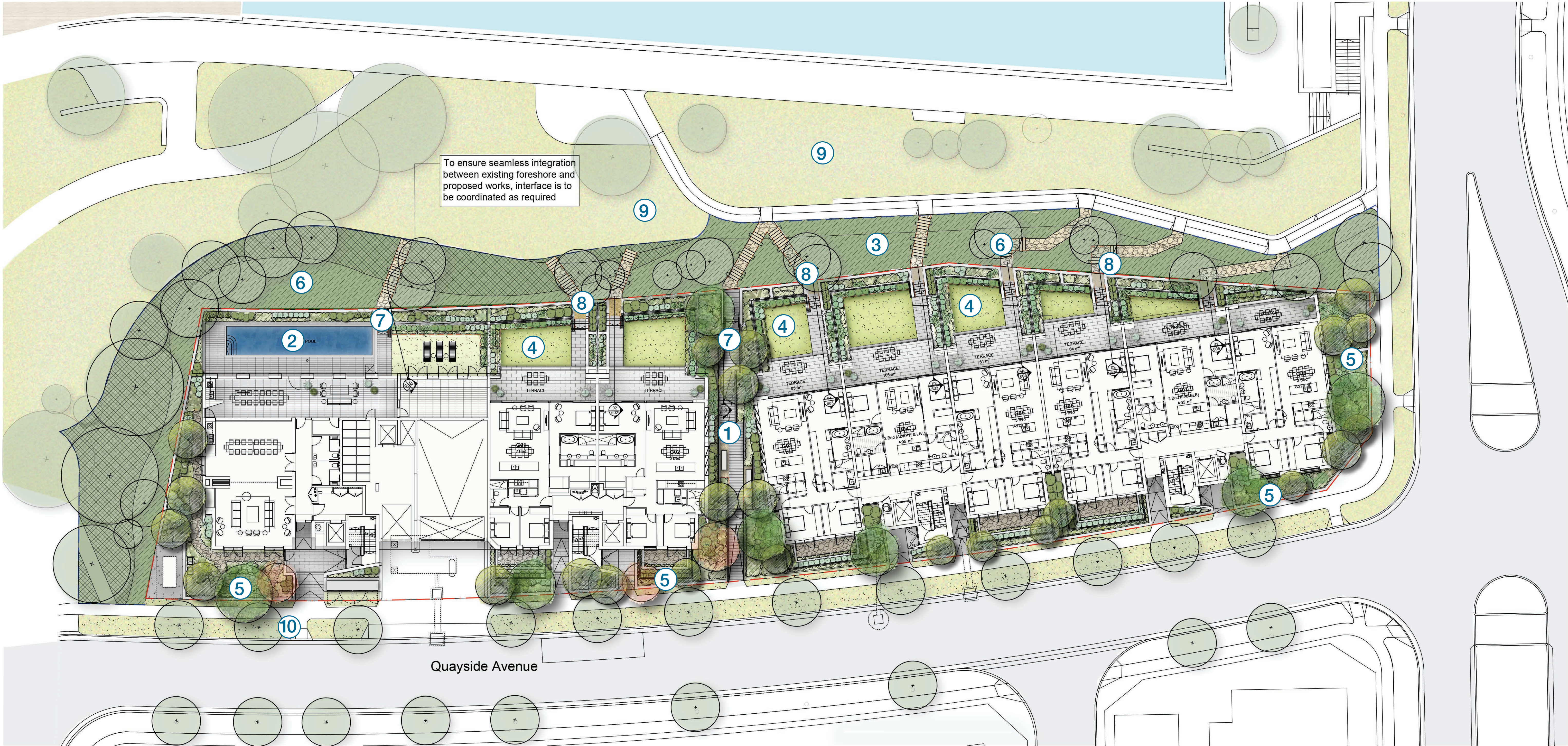
Eucalyptus robusta
Swamp Mahogany



Poa poiformis
Blue Tussock Grass



Grevillea 'Poorinda Royal Mantle'
Grevillea



- 1. PRIVATE COMMUNAL ACCESSWAY
- 2. COMMON SWIMMING POOL
- 3. FORESHORE FRONTAGE LANDSCAPE
- 4. PRIVATE GRASS AREA
- 5. LANDSCAPE SETBACK
- 6. LANDSCAPED EMBANKMENT (refer sections)
- 7. PRIVATE COMMON ACCESS TO WATERFRONT
- 8. PRIVATE ACCESS FROM GROUND FLOOR APARTMENTS
- 9. APPROVED FORESHORE WORKS
- 10. STREET TREE PLANTING TO APPROVED DA

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F	Updated DA Issue	MW	NM	17.05.2022
E	Forshore Stairs Updated	CK	NM	01.02.2022
D	Forshore Tree Species Modified	JD	NM	20.01.2022
C	Development Application	JD	NM	16.09.2021
B	Development Application	JD	NM	14.09.2021
A	Preliminary	JD	NM	03.09.2021
Issue	Revision Description	Drawn	Check	Date

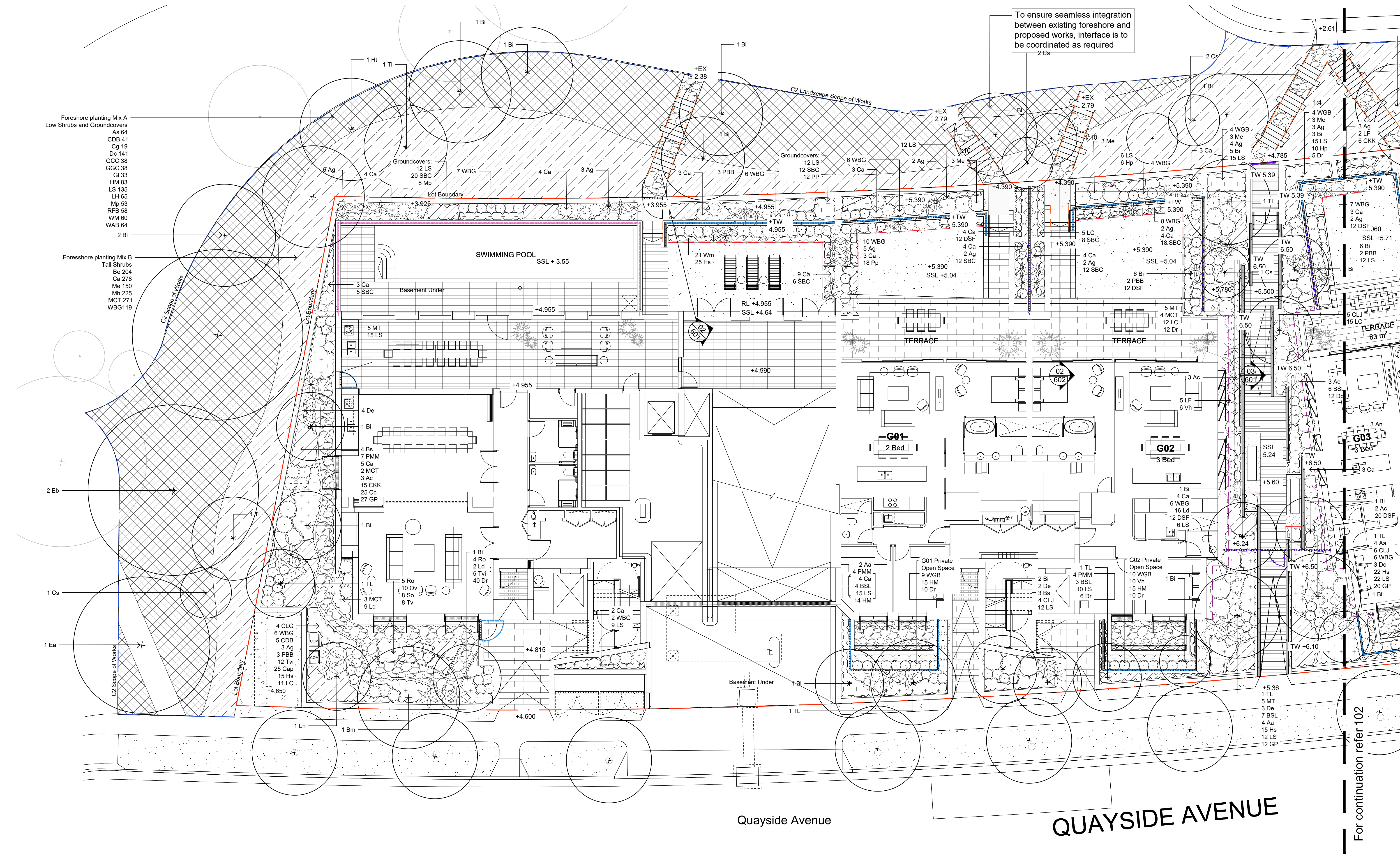
Legend	
	Property Boundary
	Extent of works
	Proposed Tree
	Proposed Shrub and Accent planting
	Proposed grasses and groundcovers
	Turf
	Foreshore Plant Mix A Low Shrubs & Groundcovers
	Foreshore Plant Mix B Tall Shrubs
	Steel Edge Refer to Detail

	Unit Paving
	Seating
	Concrete Blade Wall
	Sandstone Flagging

SITE IMAGE
Landscape Architects
Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Frasers Property Australia
Project:
**Precinct C2
Shell Cove**

Drawing Name:
Landscape Plan
DEVELOPMENT APPLICATION
Scale: 1:200 @ A1
Job Number:
SS21-4673
Drawing Number:
001
Issue:
F



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F	Updated DA Issue	MW	NM	17.05.2022
E	Foreshore Stairs Updated	CK	NM	01.02.2022
D	Foreshore Tree Species Modified	JD	NM	20.01.2022
C	Development Application	JD	NM	16.09.2021
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Issue	Revision Description	Drawn	Check	Date

Legend

	Property Boundary		Proposed Shrub and Accent planting		Foreshore Plant Mix A Low Shrubs & Groundcovers		Unit Paving		Fences
	Extent of works		Proposed grasses and groundcovers		Foreshore Plant Mix B Tall Shrubs		Seating		F2 Blade Fence
	Proposed Tree		Turf		Steel Edge Refer to Detail		Concrete Blade Wall		F3 Glass Fence
							Sandstone Flagging		

SITE IMAGE

Landscape Architects

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Client:
Frasers Property Australia

Project:
**Precinct C2
Shell Cove**

Drawing Name:
Landscape Plan - 1

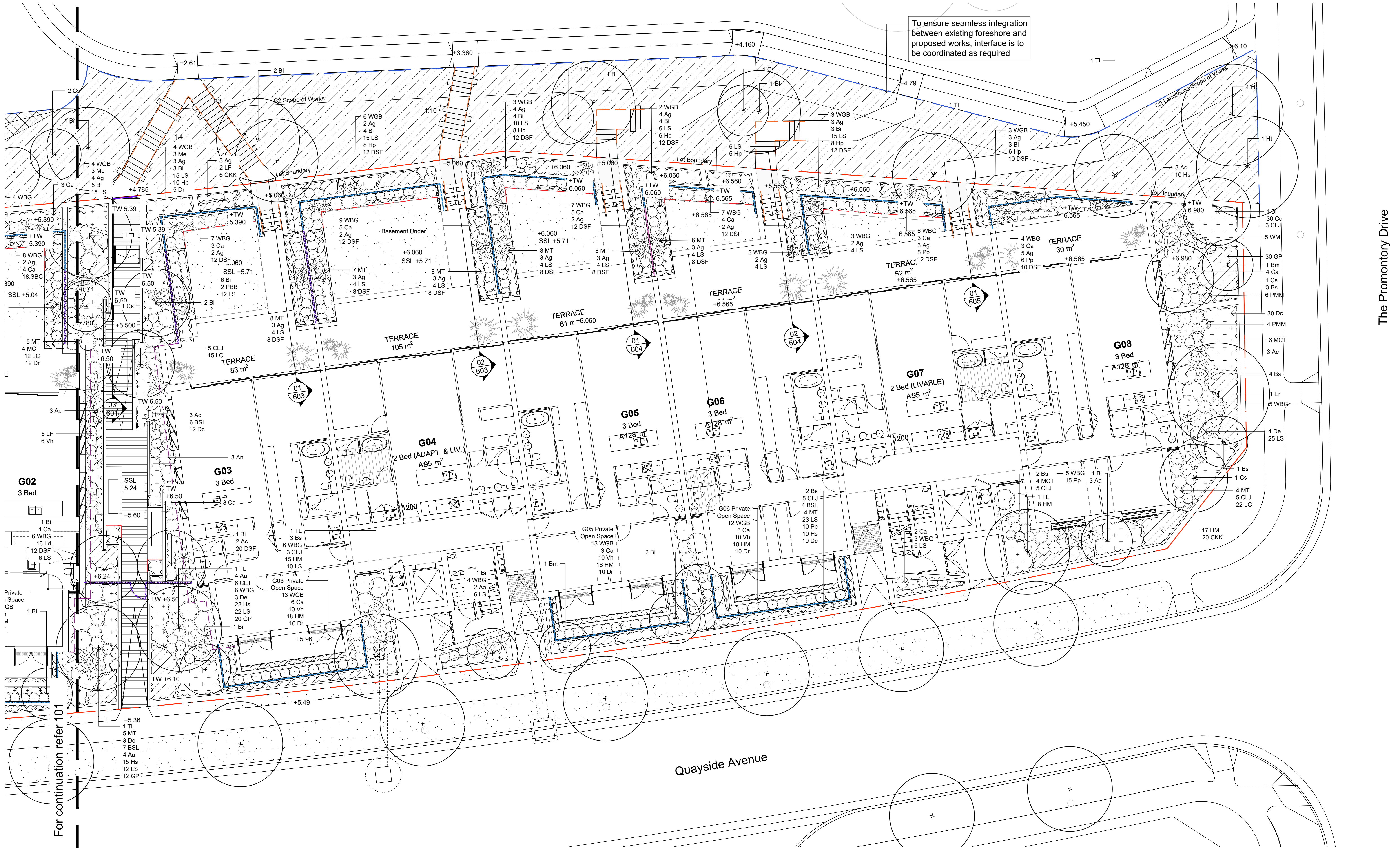
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Job Number:
SS21-4673

Drawing Number:
101

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F

DEVELOPMENT APPLICATION

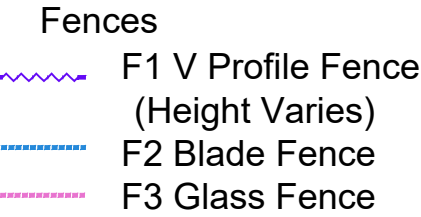
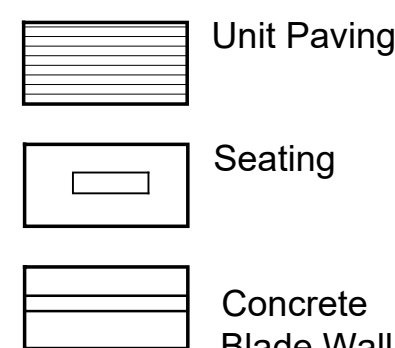
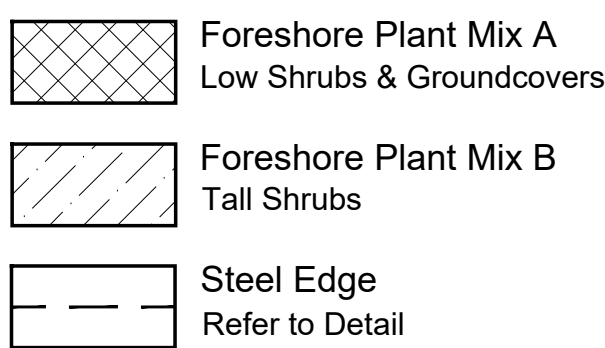
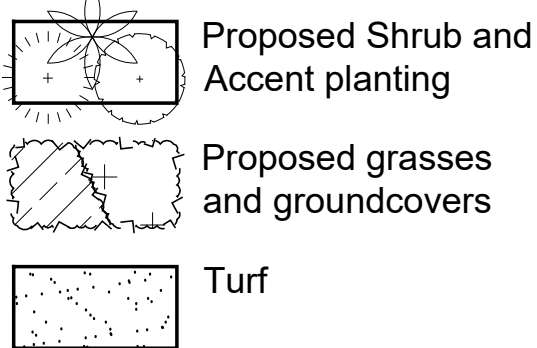
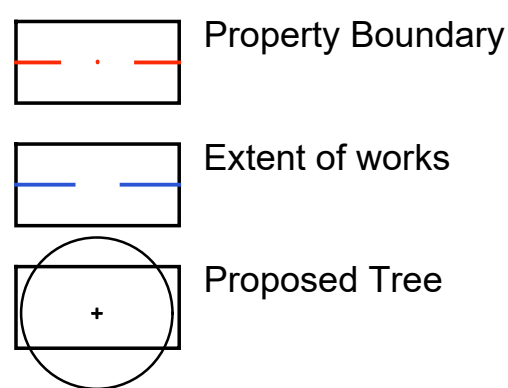


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Landscape Plan - 2

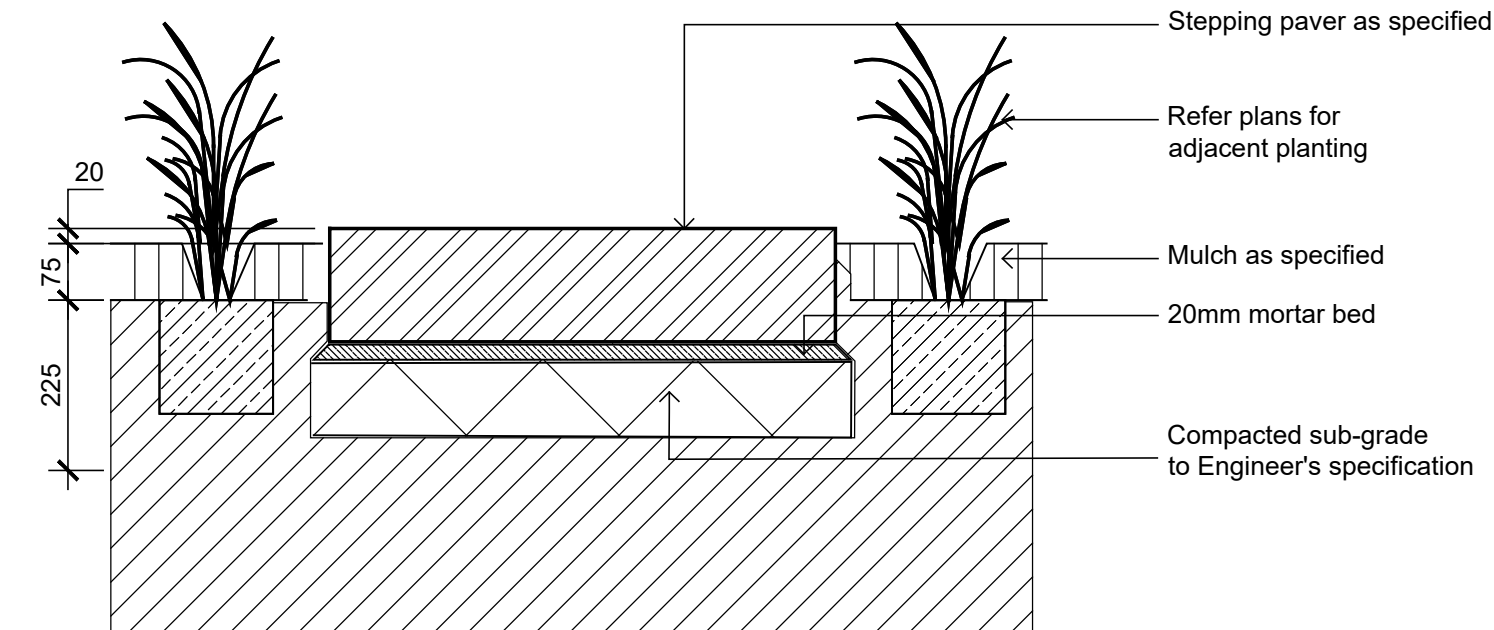
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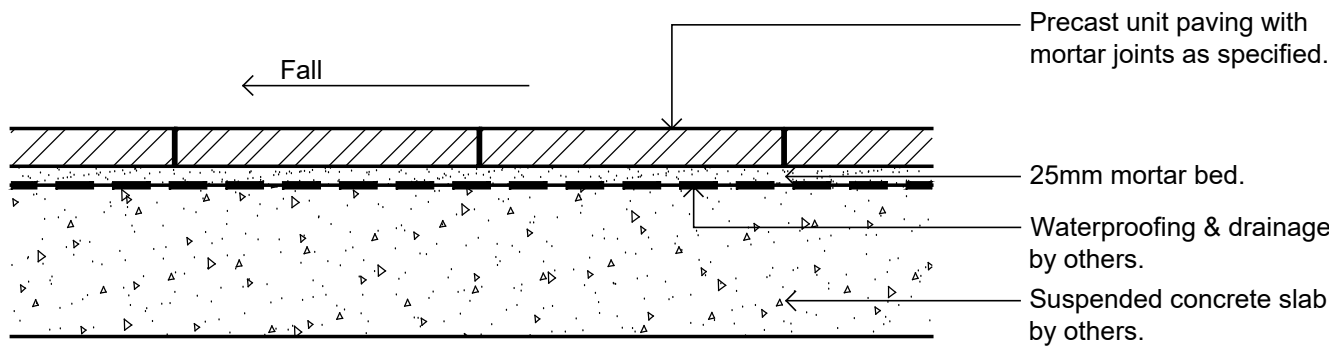
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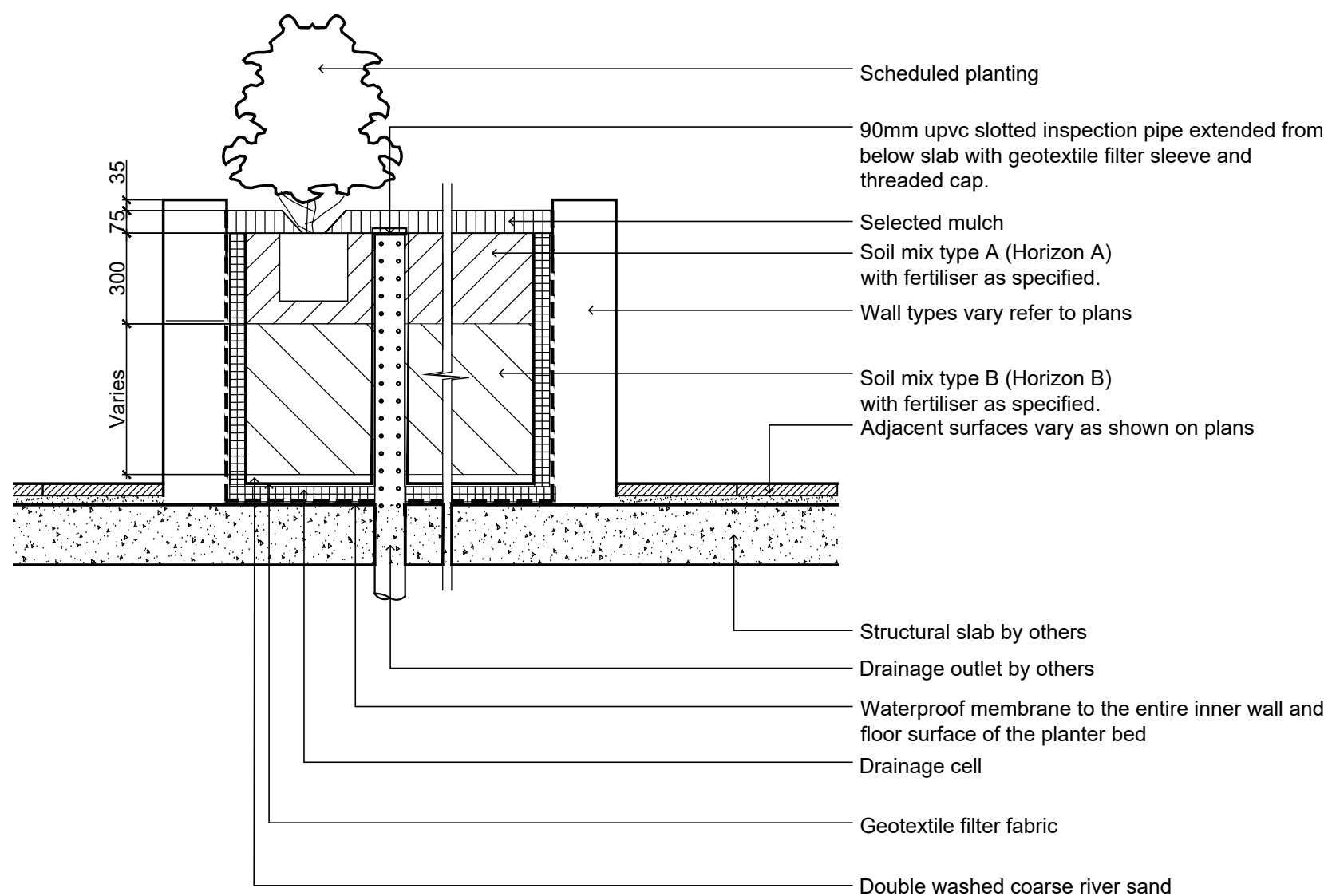
1 Stepping Paver to Foreshore

1:10



2 Unit Paver on Slab

1:10



3 Typical Raised Planter Bed on Structure

1:20

Inspection riser pipe

Maintenance Program

	Activity	Frequency							Action
		D	W	2W	3W	M	3M	6M	
1	Logbook	+		+		+			Complete a logbook entry every day at site and at least every two weeks. All actions listed below require a logbook entry. Upon request, make the logbook available for inspection. Submit copies of new entries in the logbook to the Contract Administrator on a monthly basis. Please note that more frequent, short, occasional inspection should result in less maintenance work when problems are observed earlier than they might otherwise have been seen.
2	Plant Replacement			+		+			Inspect and replace failed plants within 2 weeks of observation of failure. Match species, size (original) and location of new with old.
3	Mulch			+		+			Inspect and replace mulch deficiencies within 2 weeks of observation. Prior to placing new mulch aerate the soil by fork turning to a depth of at least 100mm, roughly level the soil and then place mulch. Do not disturb major plant roots while aerating soil.
4	Erosion Control			+					Inspect every two weeks and repair ground, soil and mulch immediately. Maintain erosion control device as necessary.
5	Stakes and ties			+					Inspect every two weeks, adjust and/or replace as necessary but remove as plants mature and are able to support themselves.
6	Weed and Rubbish removal			+					Inspect and remove immediately upon observation. Leave no waste on site. Dispose of waste material at a designated waste disposal site.
7	Pruning			+					Inspect every 2 weeks and prune as necessary to remove dead wood, improve plant shape and promote healthy vigorous new growth.
8	Spraying			+					Inspect every 2 weeks and action as necessary. Do not spray if other non-chemical methods will satisfy the need to remove insects. Spray for disease control only when absolutely necessary.
9	Urgent Works		+						Complete within 1 week (7 days) of notification. Inspect and clear drains.
10	Planting and fertilising			+			+		Inspect every 2 weeks and remove spent flowers and dead stalks as they become apparent. Fertilise gardens every 3 months or other frequency in accordance with fertiliser manufacturer's directions.
11	Watering		+	+					Water when and where necessary every day at site and at least every 2 weeks generally. Do not allow soil and plants to dehydrate. Allow for prolonged rain, windy and dry periods. Water in the early morning or late afternoon to avoid excessive evaporation during the heat of the day.
12	Mowing, top dressing and edging			+		+		+	Summer fortnightly. Winter monthly. Top-dress 6 monthly.

SPECIFICATION

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedule on this drawing. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES

Trees to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work near Trees

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise note in the contract, bulk excavation is excluded from the landscape works. Trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Compact the finished surface as required for the finished ground treatment.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGS and Edging

Construct garden walls as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with standards and applicable legislation.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the installation.

SOFTWORKS

Soil Testing

Undertake at least two (2) soil tests, in locations as advised by Project Manager, and provide results and recommendations for the improvement of plant growth and to adjust the soil to achieve appropriate planting medium (including pit levels) for successful plant growth.

Subsoil

Excavate all garden beds to bring the subsoil to at least 300mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Cultivate the subsoil to a further depth of 100mm. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or tree roots, if necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels after cultivation.

Topsail

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edge;
- Smooth and free from stones or lumps of soil;
- Graded to drain freely, without ponding, to catchment points;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, grass and weed growth.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates.

Plants

Supply plants in accordance with the landscape drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species or variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site, and in particular shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to their container.

Plant Installation

Following excavation of the planting hole place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure the topsoil is not placed over the top of the rootball. Keep the plant stem at the same height above the ground as it was above the soil in the container. Apply fertiliser, as recommended in the soil testing results or in accordance with the manufacturer's recommendations around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary to prevent soil erosion or soil movement, stabilise embankments. As a minimum this should be on slopes >1:3. Stabilise embankments using biodegradable fibre reinforced with heavy weight polymer mesh. Lay mesh from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300 mm anchor trenches at top and bottom, backfilled with soil over the mesh and compacted, and U-shaped galvanised steel pegs at 1000 mm centres and 250mm centres at edge overlaps. Plant after matting is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths and all trunk service trenches, where their proximity poses a threat to the stability of the infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Mulch shall be approved recycled wood fibre or pine bark mulch. Place mulch in all garden beds to a depth of 75mm, after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even surface flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25 lt): 1 off 38 x 38 x 1200mm;
- Semi-advanced plants (>75 lt): 2 off 50x50x 1800mm;
- Advanced (>100 lt): 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being cut, and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; &
- To finish flush, after tamping, with adjacent finished surfaces of ground.

IRRIGATION

All proposed landscape areas shall be irrigated.

The irrigation system shall be an automatic fixed drip system, with an irrigation controller self operated via a soil moisture sensor. The system shall be compatible to the type of plant material and rates of water required. Where appropriate adjustable and fully serviceable. The layout of the entire irrigation is to ensure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Water to be supplied from rainwater tank. Do not use fine mist type emitters that provide a drifting mist that may wet paths and the buildings.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. The Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks. The landscape maintenance works shall include, but not be limited to, the following:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

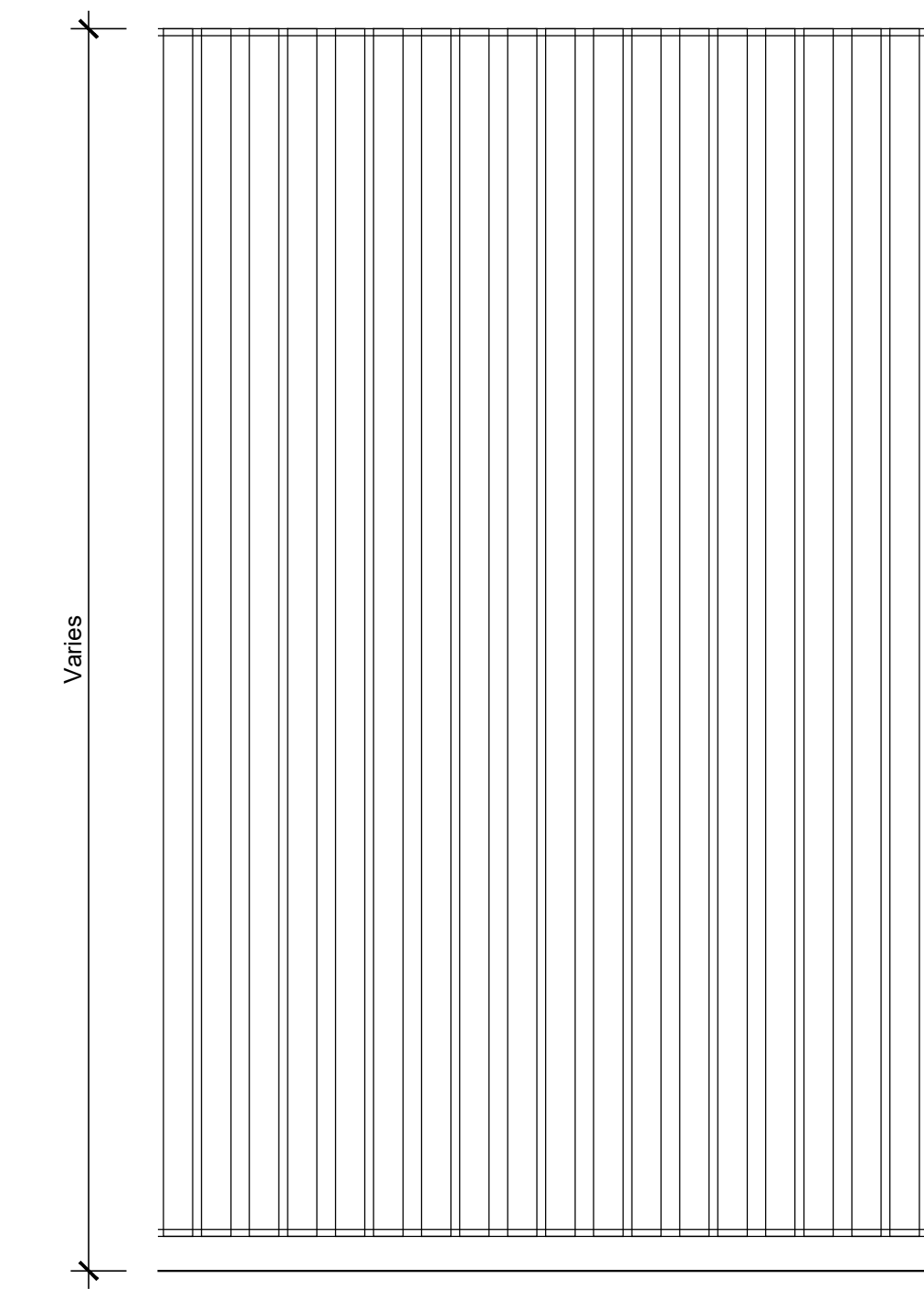
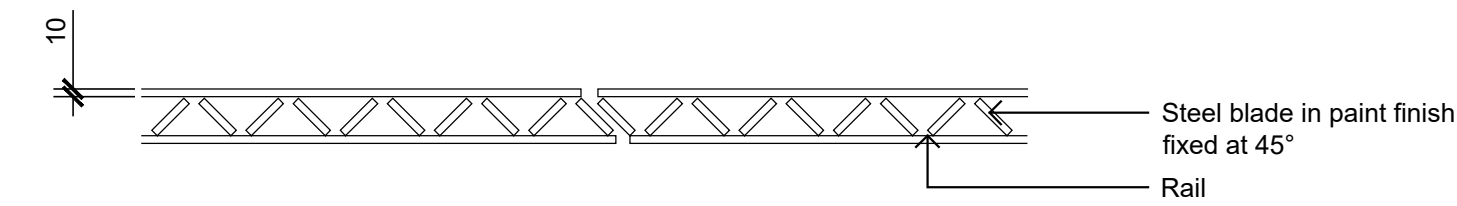
Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best.

Maintenance Activities

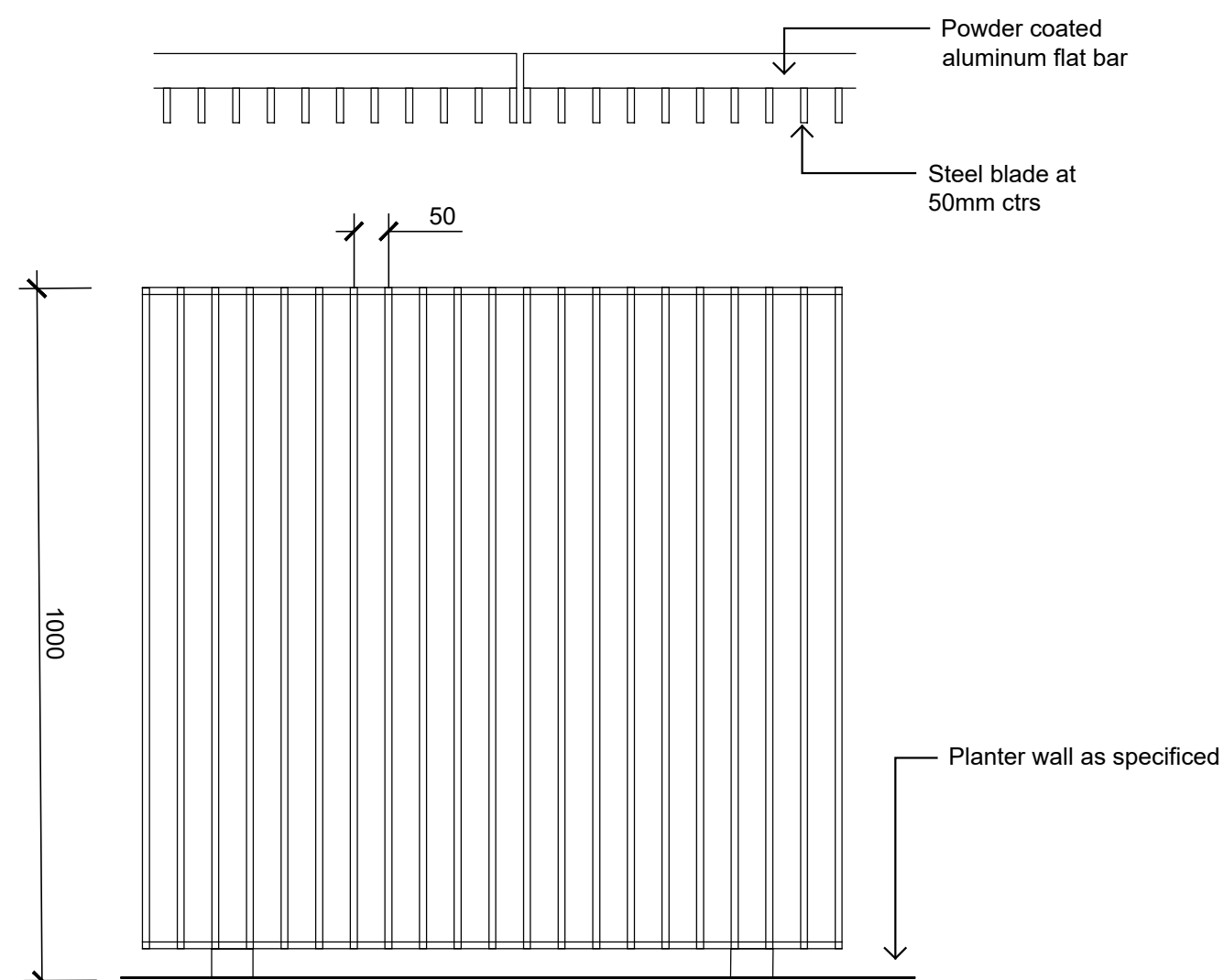
Schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type.
- Insect and pest control** - Avoid spraying:
 - If ever possible;
 - In wet weather or if wet weather is imminent;
 - If target plants are still wet after rain;
 - In windy weather; and
 - If non-target species are too close.Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturer's recommendations. Record in the logbook all relevant details of spraying activities including:
 - Product brand / manufacturer's name,
 - Chemical / product name,
 - Chemical contents,
 - Application quantity and rate,
 - Date of application and location,
 - Results of application, and
 - Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.
- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period).
- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified.
- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface.
- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth, adjust and rectify as required. Provide additional watering, if necessary.
- Erosion control** - Where necessary, maintain the erosion control devices in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary.
- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set.

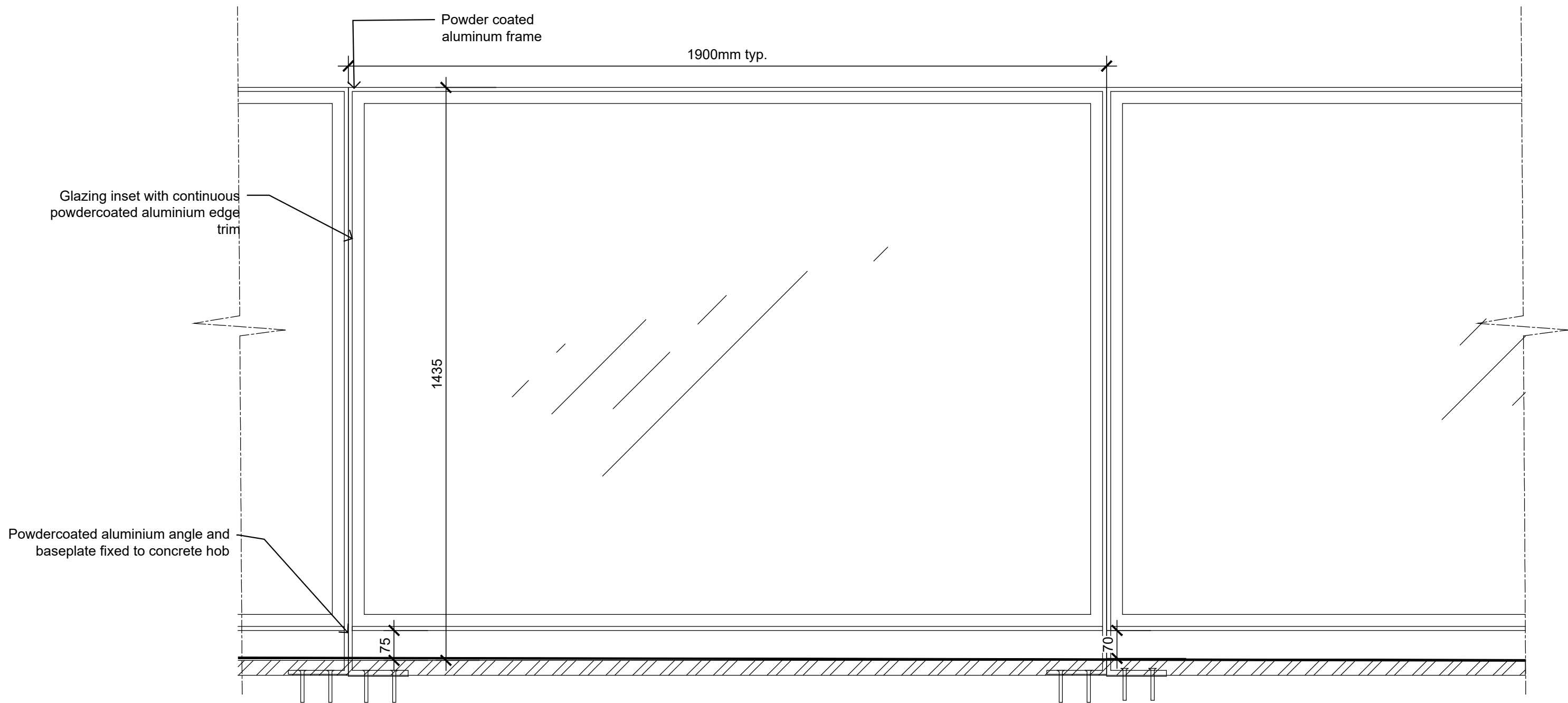




01 F1 Metal Privacy Fence
1:10



02 F2 Privacy Fence
1:10



03 F3 Pool Fence
1:10

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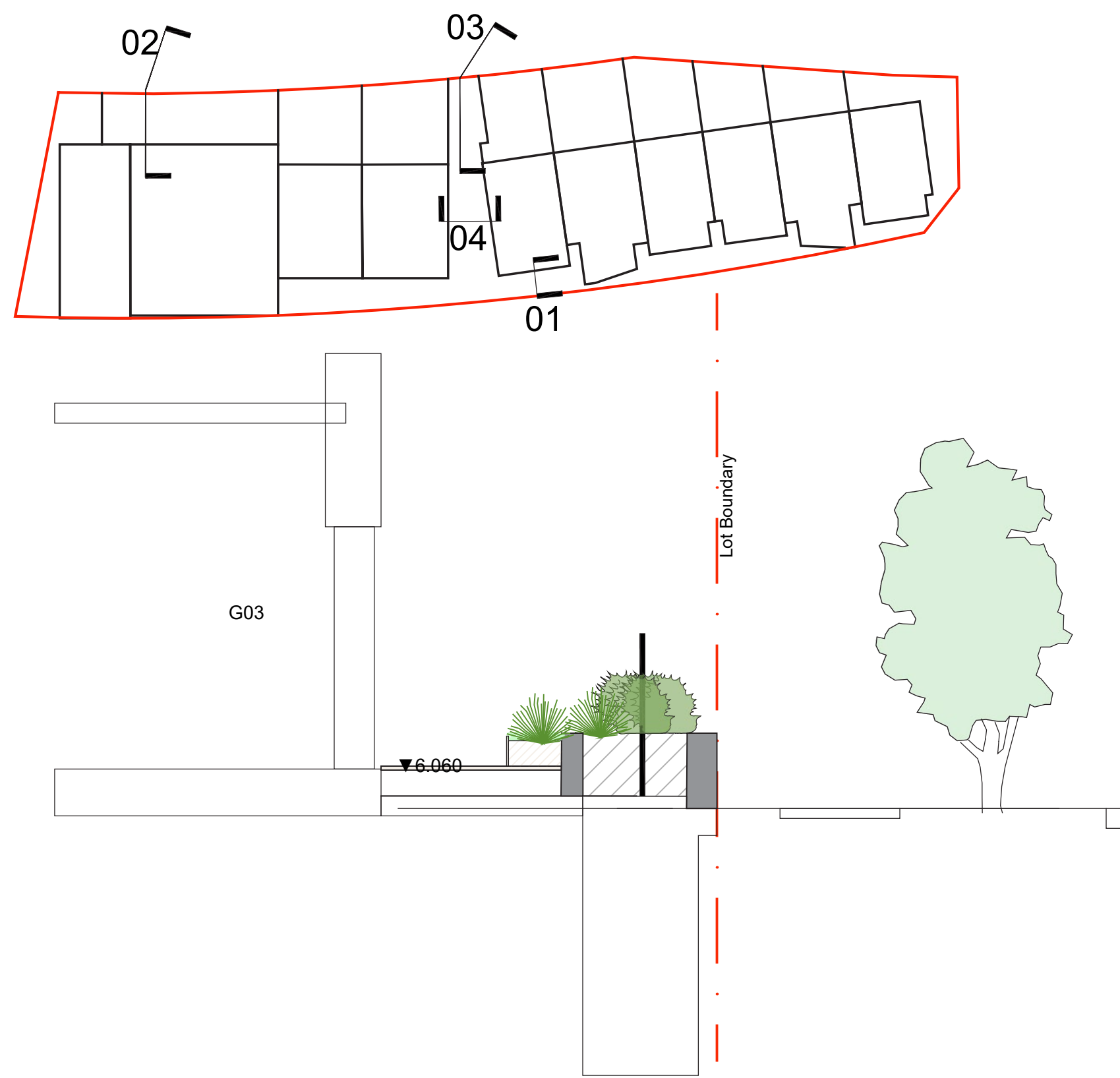
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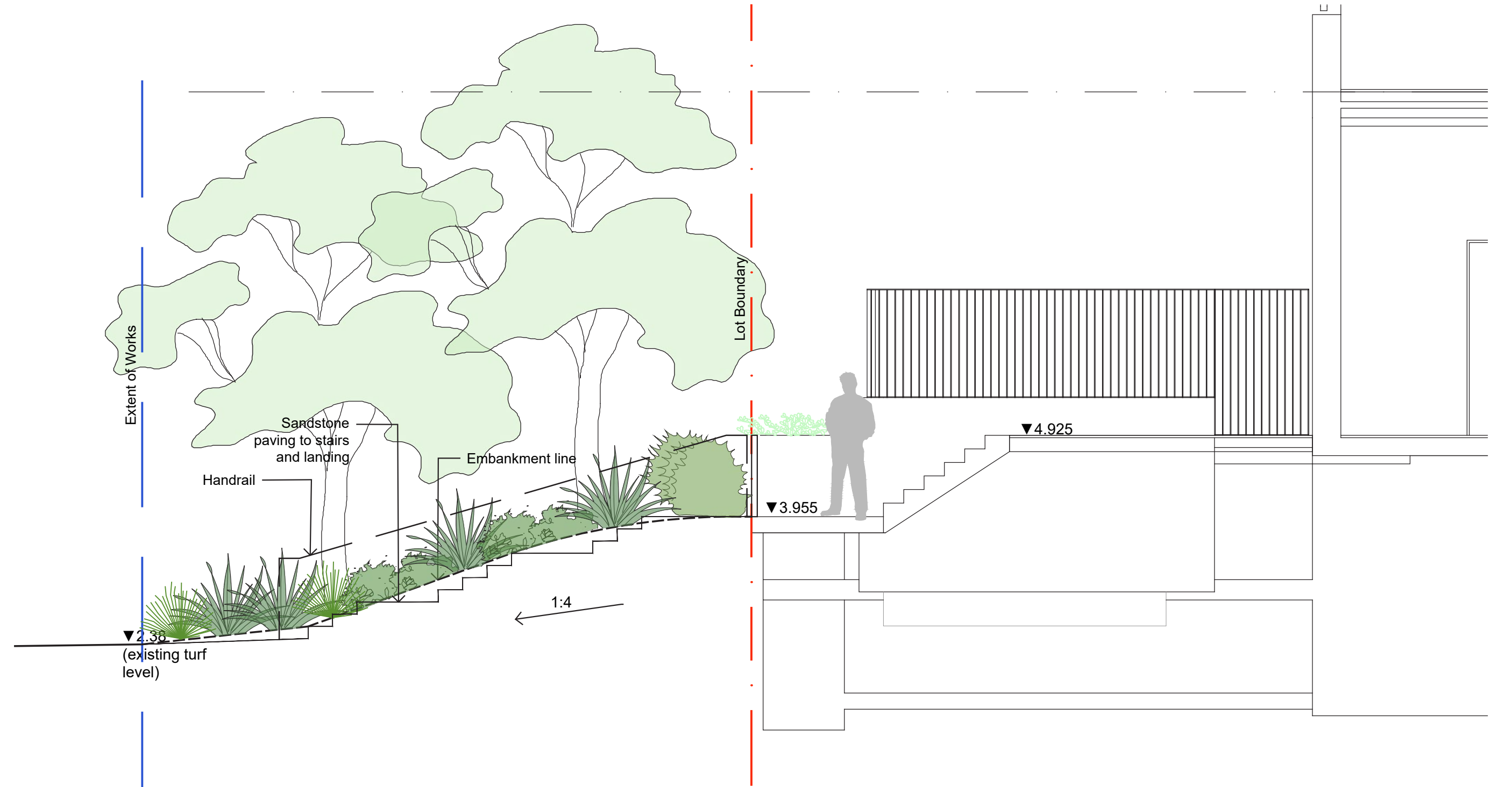
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DEVELOPMENT APPLICATION

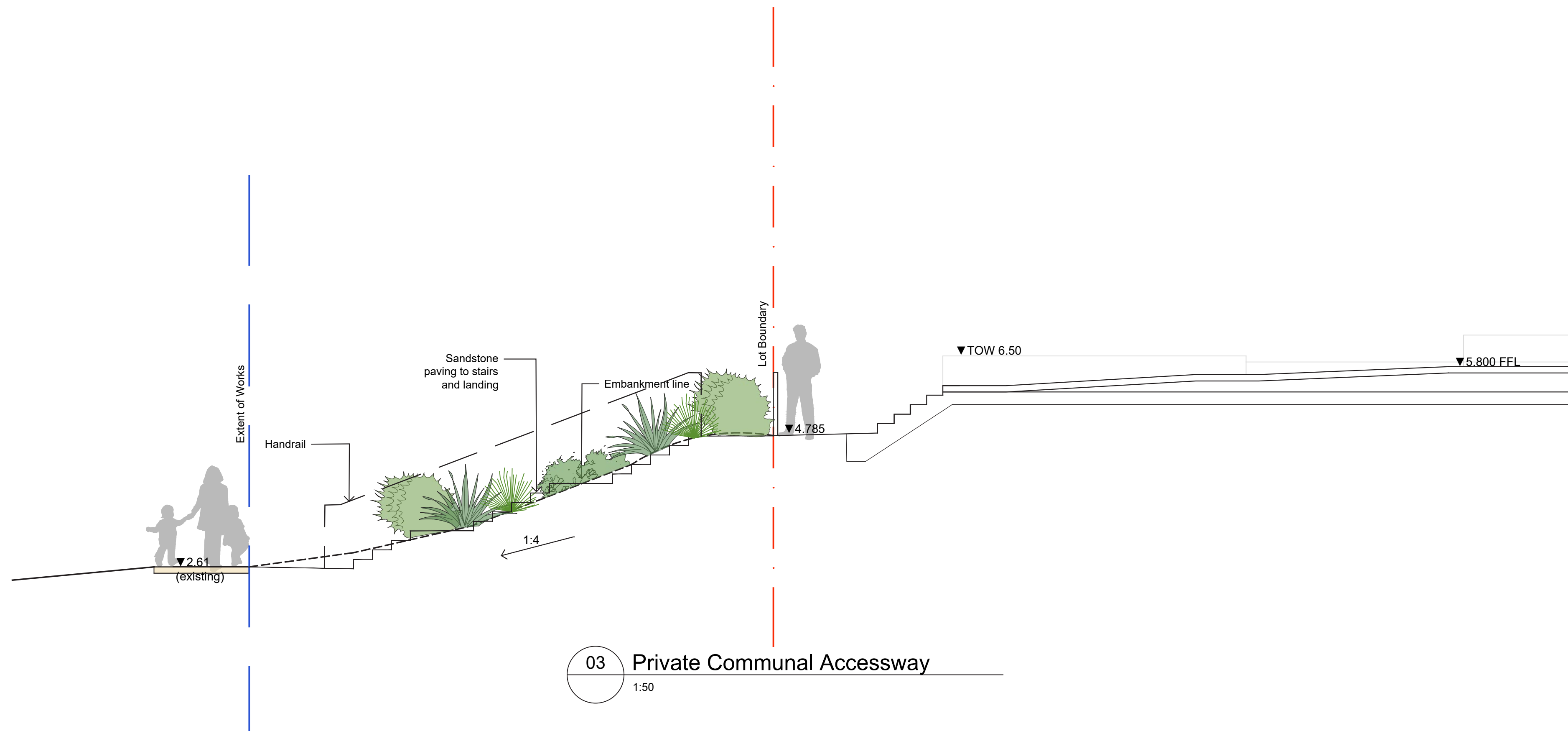
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Job Number: SS21-4673
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Issue: E



01 Quayside Avenue Private Open Space
1:50



02 Community Room
1:50



03 Private Communal Accessway
1:50



04 Private Communal Accessway
1:50

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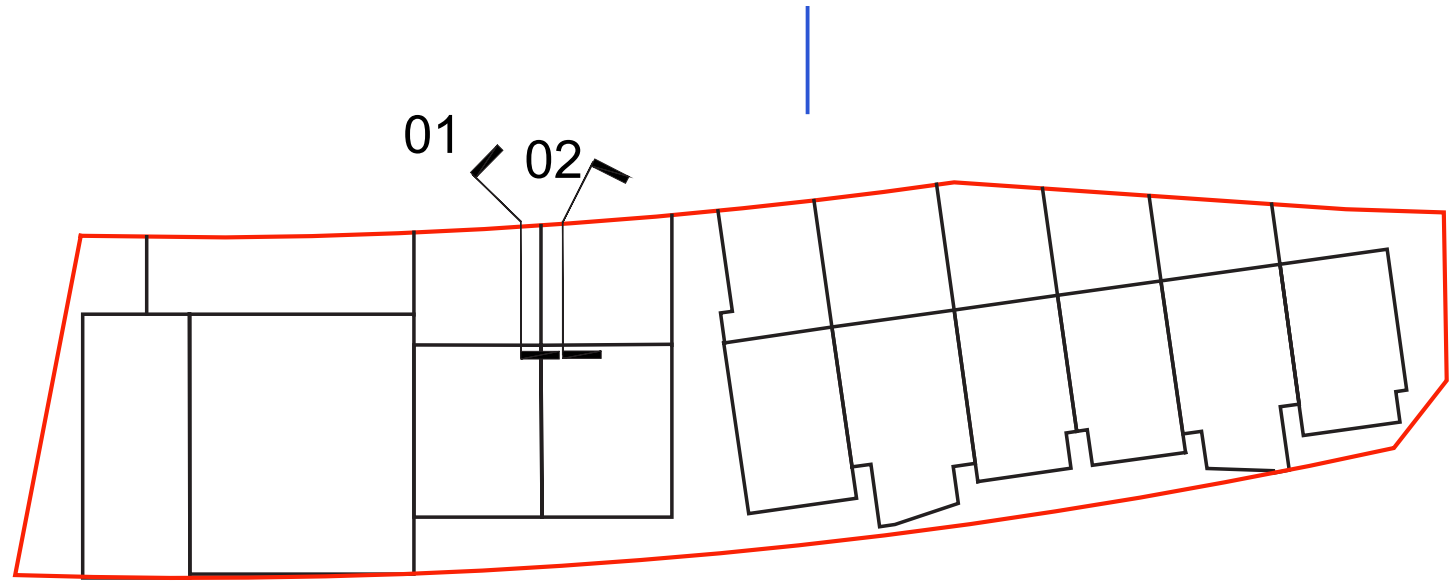
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DEVELOPMENT APPLICATION

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0 0.5 1 1.5 2 2.5m
Drawing Number: 601 Issue: E



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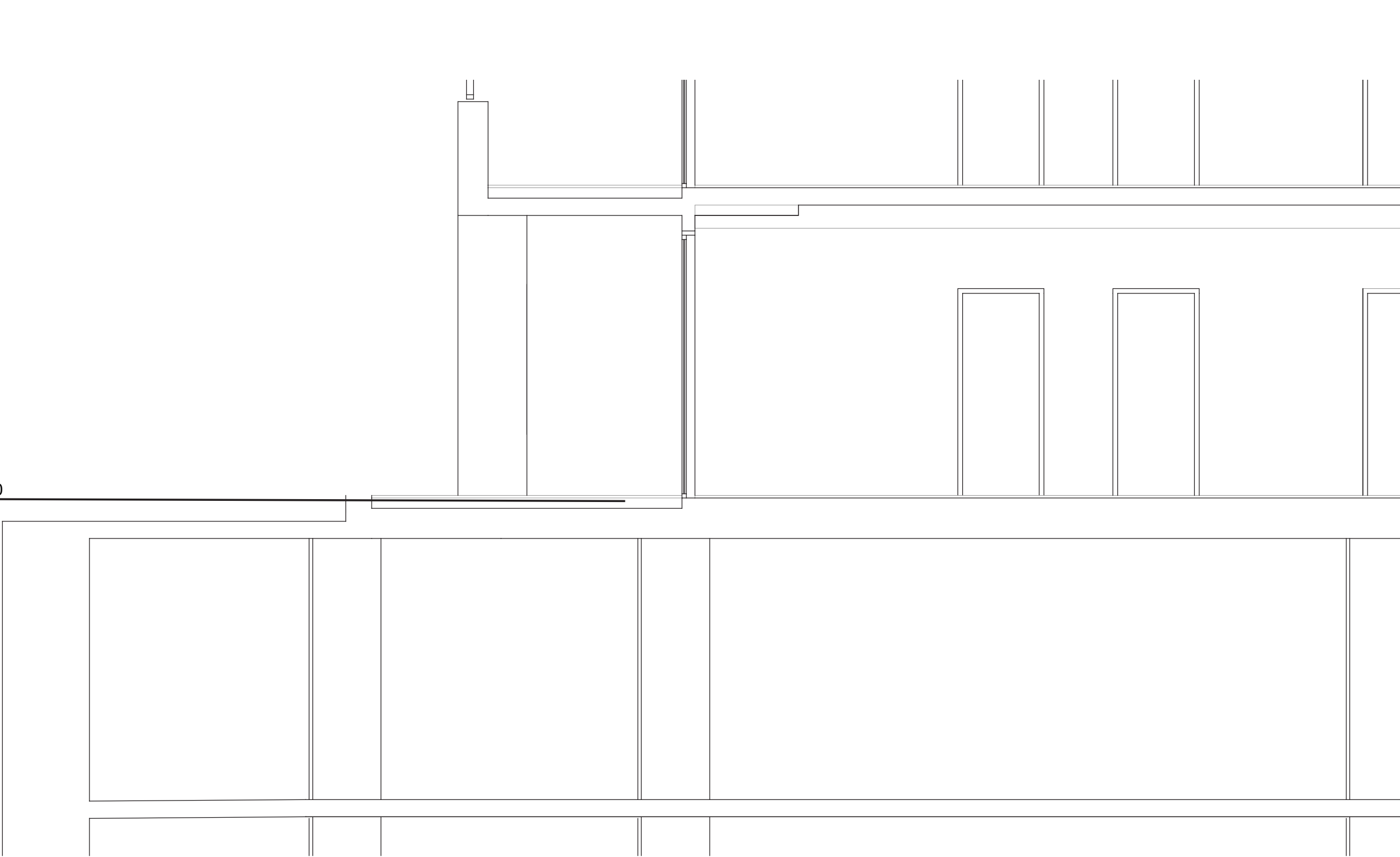
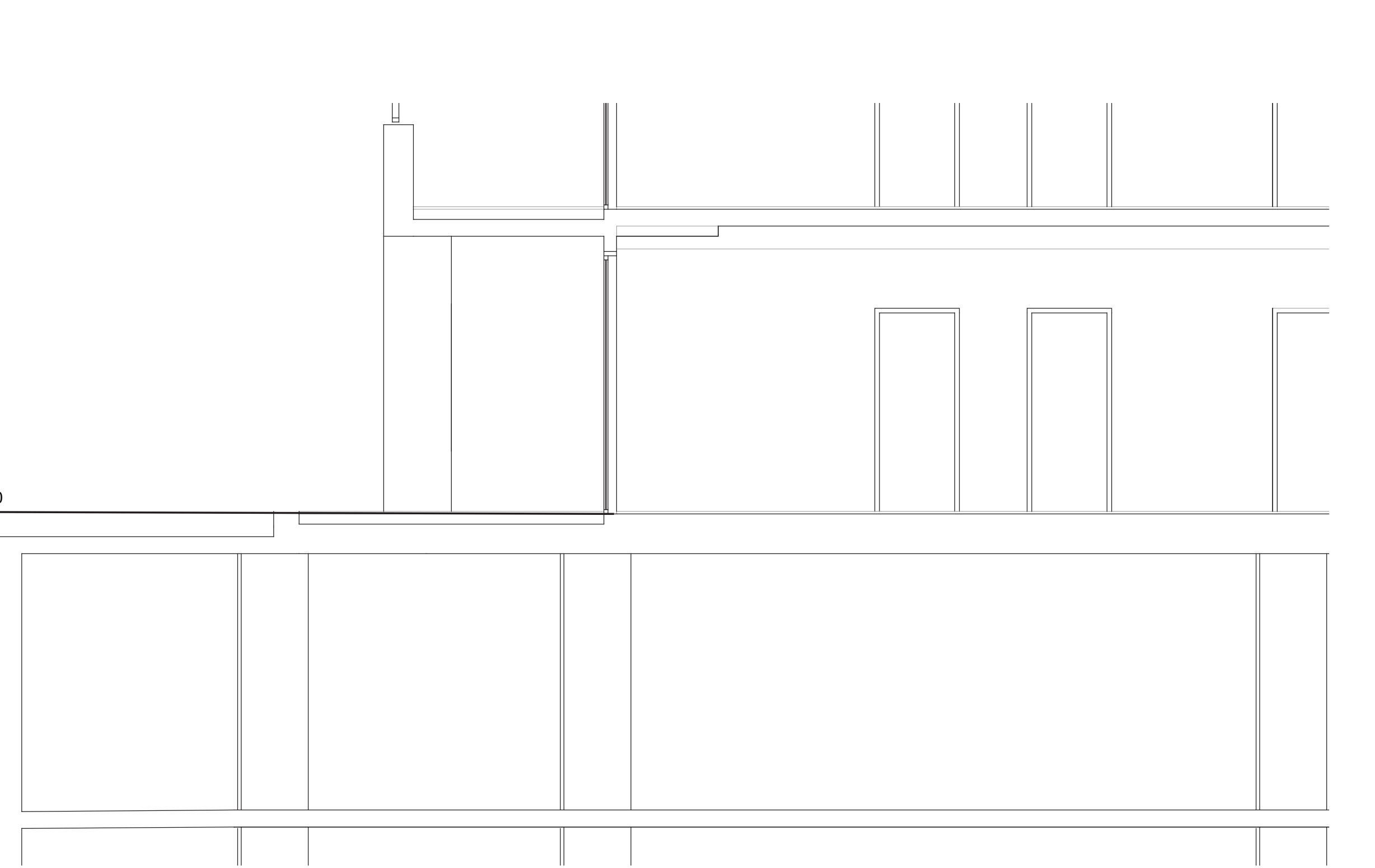
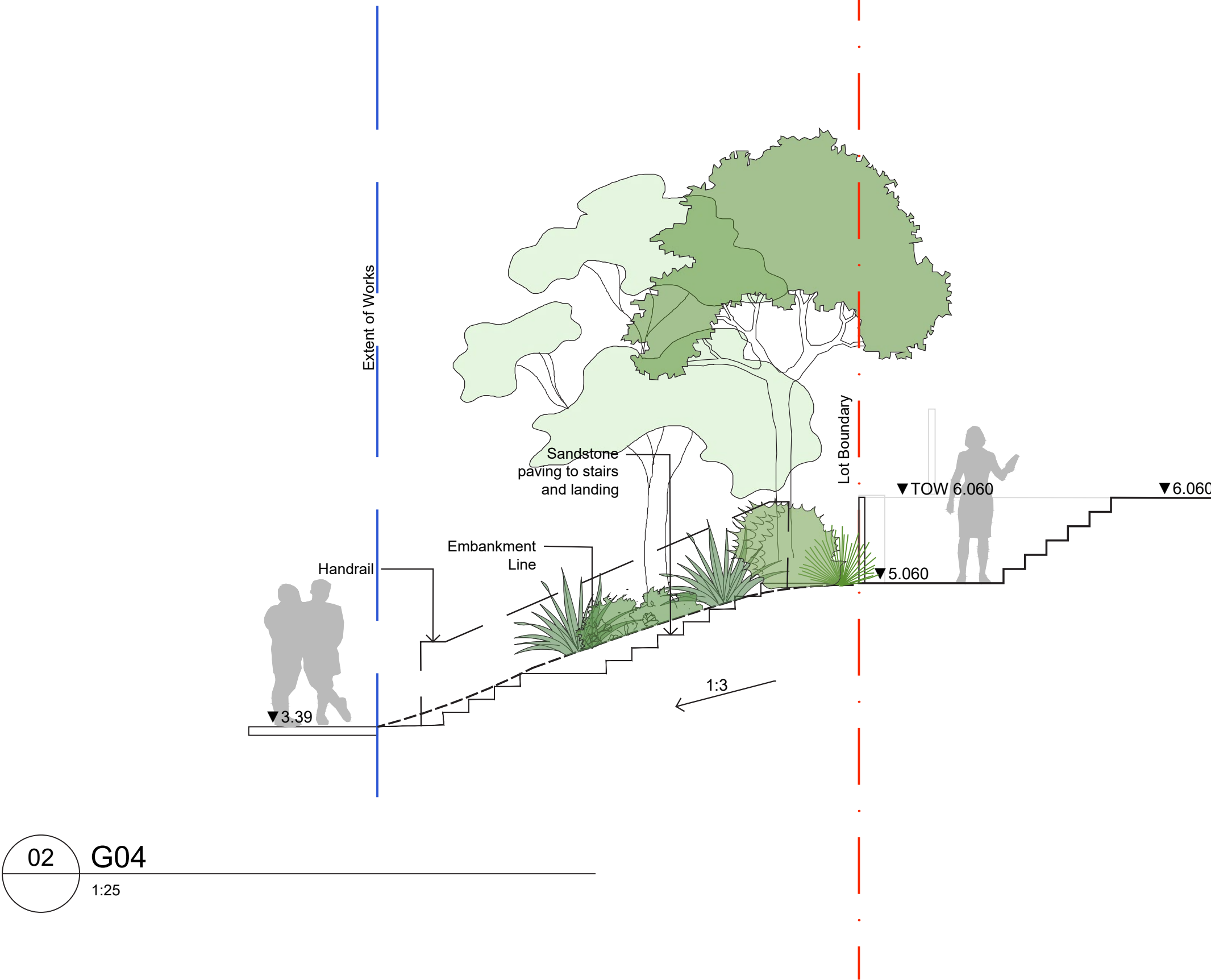
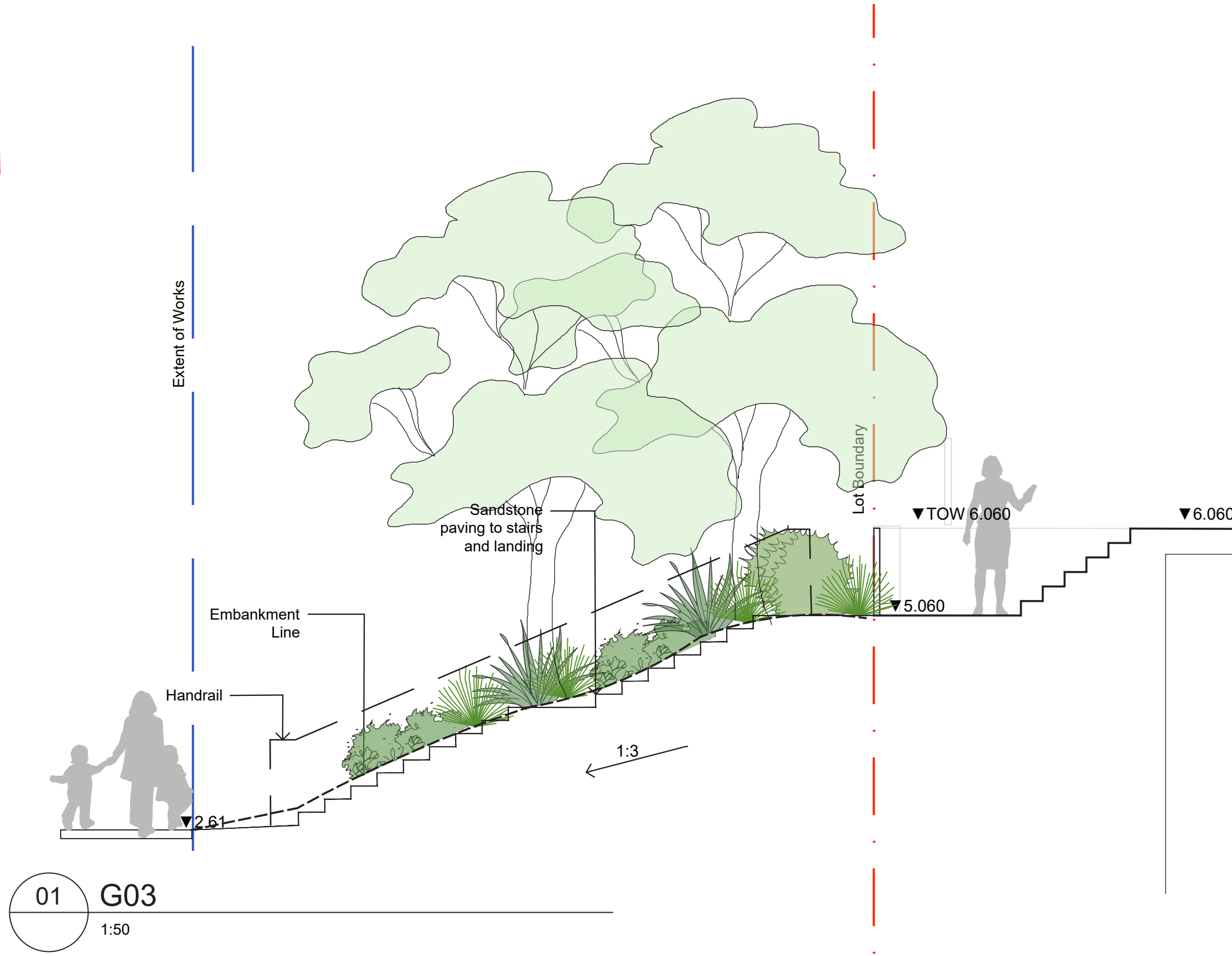
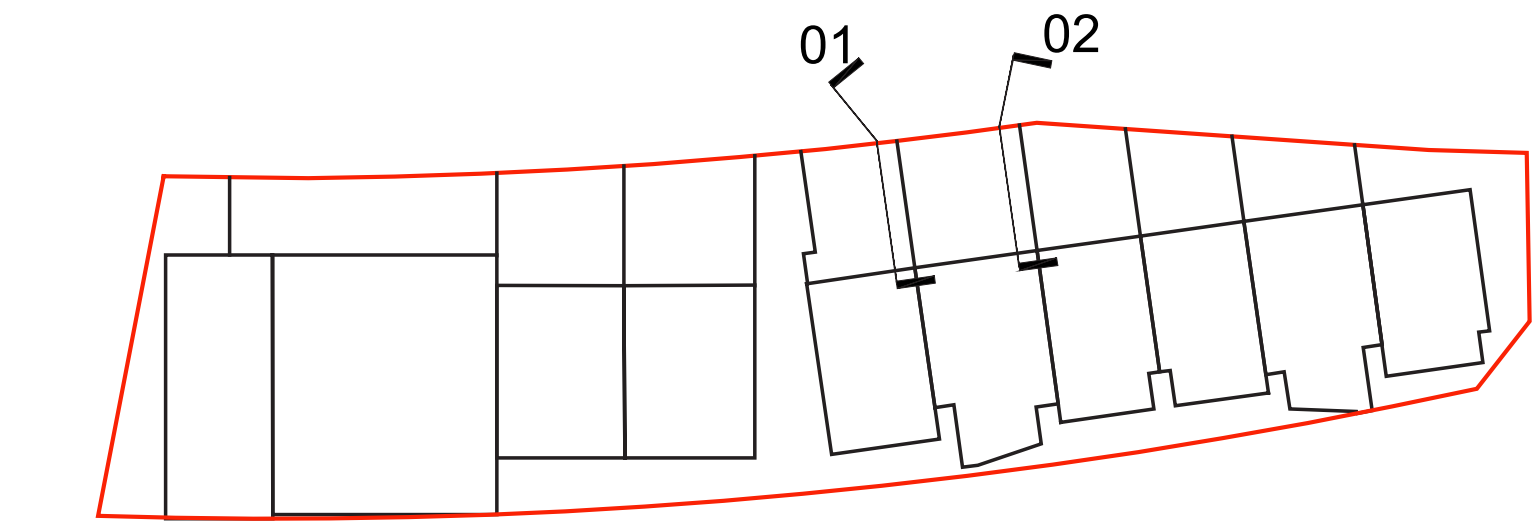
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D	Forshore Tree Species Modified	JD	NM	20.01.2022
C	Development Application	JD	NM	16.09.2021
B	Development Application	JD	NM	14.09.2021
A	Preliminary	JD	NM	03.09.2021
Issue	Revision Description	Drawn	Check	Date



Client:
Frasers Property Australia

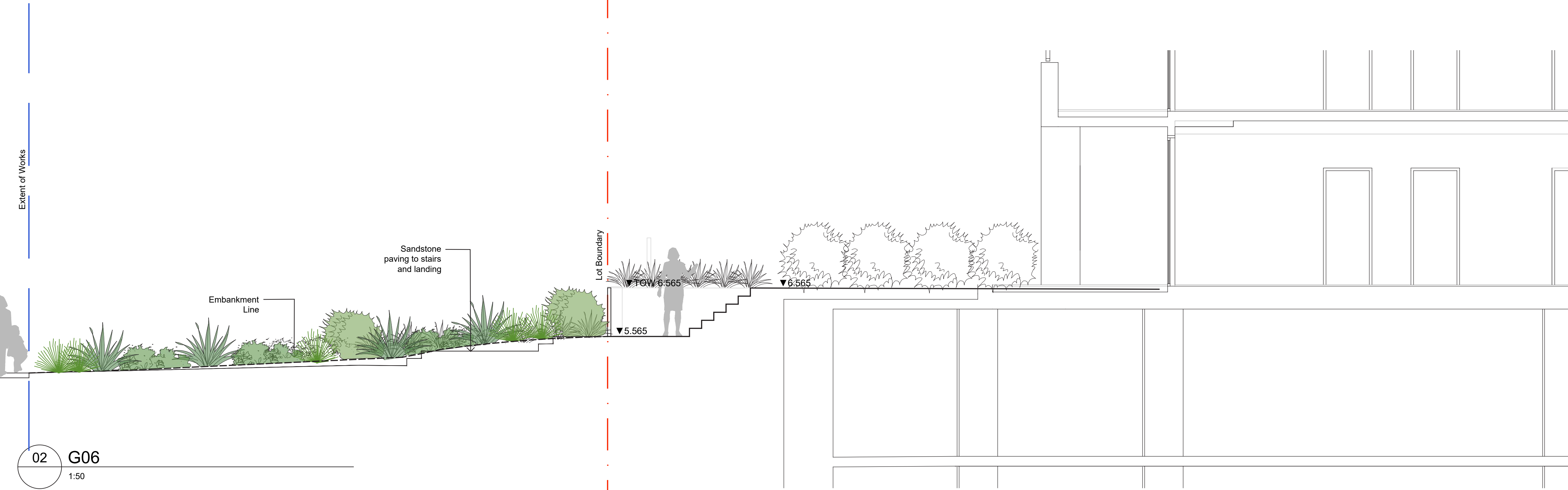
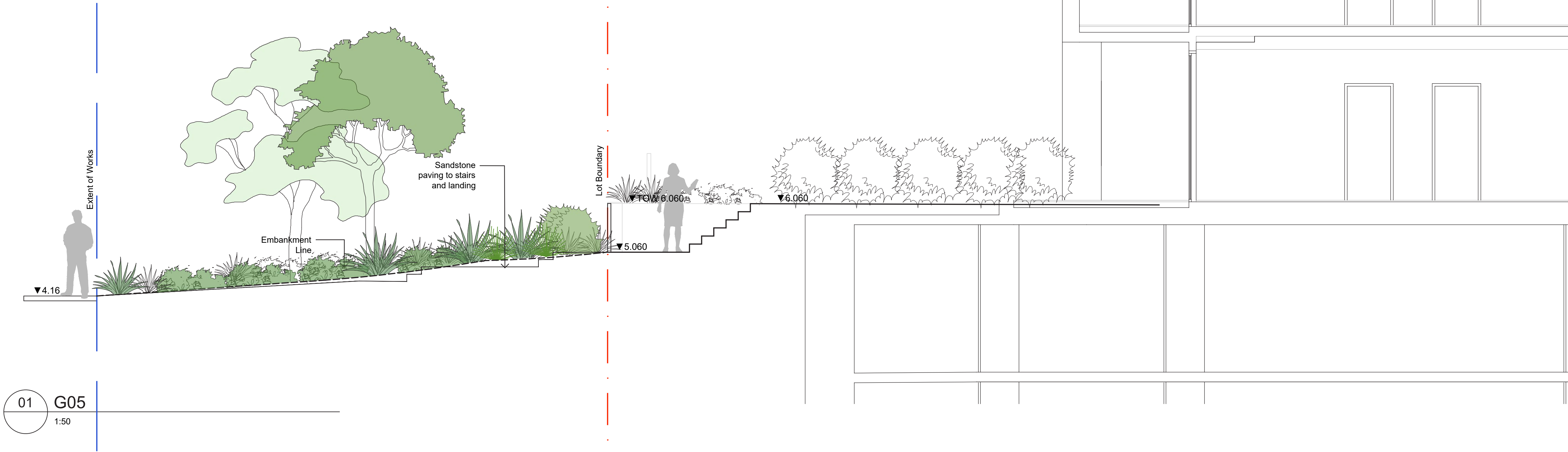
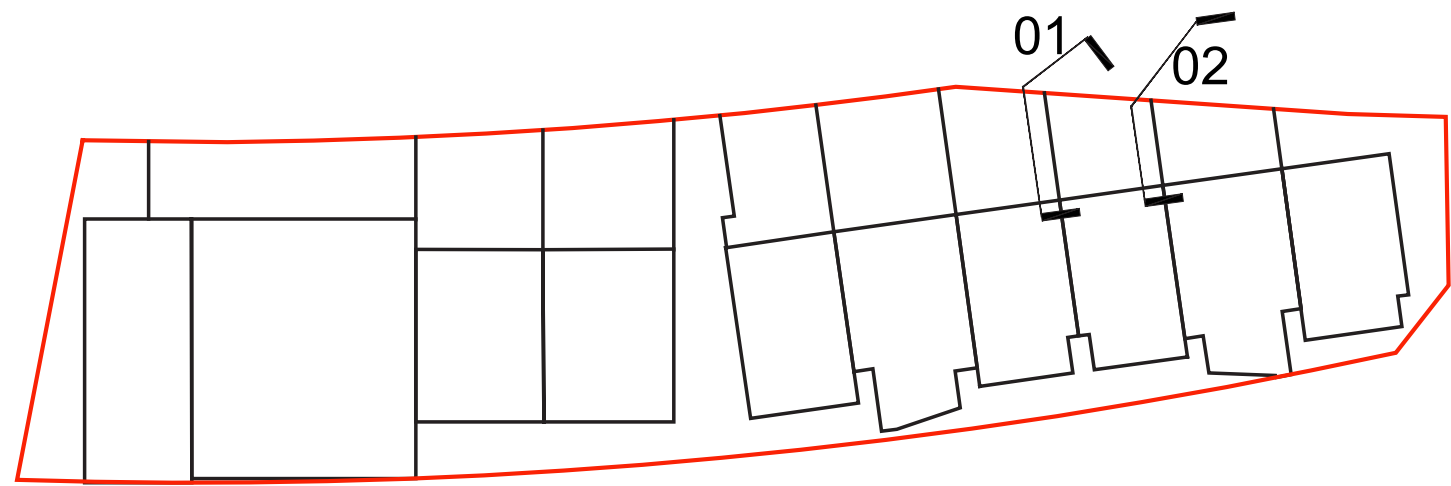
Project:
**Precinct C2
Shell Cove**

Drawing Name:
Landscape Sections

DEVELOPMENT APPLICATION

Scale: 1:50 @ A1
Job Number: **SS21-4673**

0 0.5 1 1.5 2 2.5m
Drawing Number: **603** Issue: **E**



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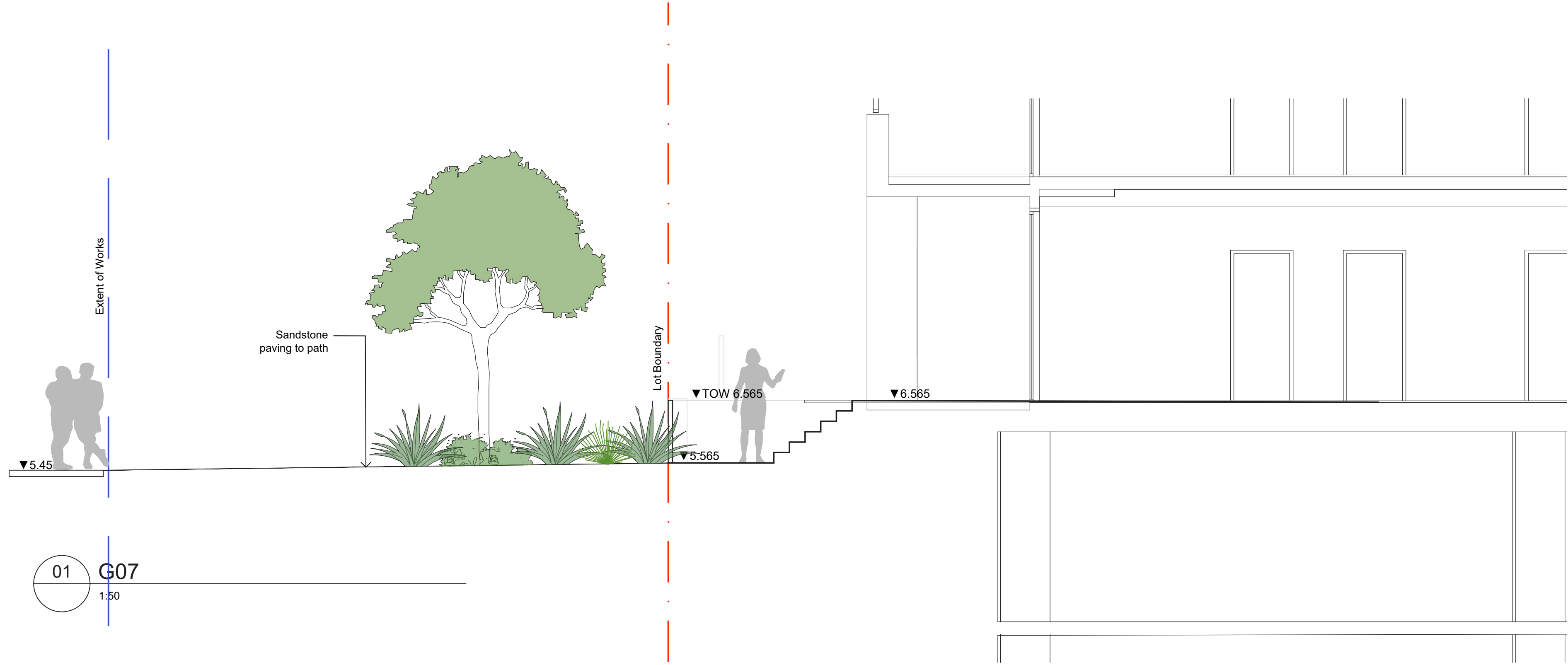
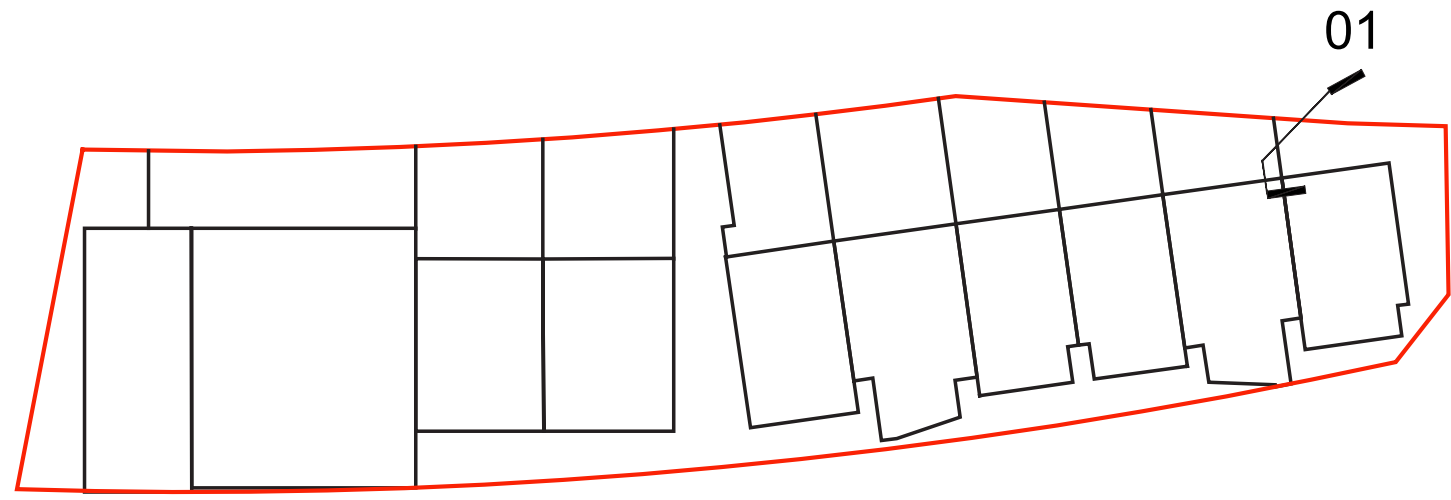
Client:
Frasers Property Australia

Project:
**Precinct C2
Shell Cove**

Drawing Name:
Landscape Sections

DEVELOPMENT APPLICATION

Scale: 1:50 @ A1
Job Number: SS21-4673
Drawing Number: 604
Issue: E



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Client:
Frasers Property Australia

Project:
**Precinct C2
Shell Cove**

Drawing Name:
Landscape Sections

DEVELOPMENT APPLICATION

Scale: 1:50 @ A1
Job Number: SS21-4673
Drawing Number: 605
Issue: E